

City of Apopka Planning Commission Meeting Agenda June 12, 2018 5:30 PM - CITY COUNCIL CHAMBERS

I. CALL TO ORDER

If you wish to appear before the Planning Commission, please submit a "Notice of Intent to Speak" card to the Recording Secretary.

II. OPENING AND INVOCATION

III. APPROVAL OF MINUTES:

1 Approve minutes of the Planning Commission meeting held May 22, 2018.

IV. PUBLIC HEARING:

- 1. CHANGE OF ZONING From R-1AA (Single Family Residential) to R-1 (Single Family Residential) for property owned by JTD Land at Rogers Road, LLC located at 1455 W. Lester Road. (Parcel ID No. 29-20-28-0000-00-005)
- 2. CHANGE OF ZONING MASTER PLAN KELLY PARK ROAD PUBLIX CENTER From "County" A-1 (ZIP) to "City" KPI-MU (Kelly Park Interchange Mixed Use); and assignment of the KPC Interchange and Village Center Overlay Districts for the property owned by JD and Kathleen L. Horne Trust and located at 4966 Plymouth-Sorrento Road. (Parcel ID No. 13-20-27-0000-00-008)
- 3. COMPREHENSIVE PLAN LARGE SCALE FUTURE LAND USE AMENDMENT From Residential Very Low Suburban (0-2 du/ac) to Mixed Use Interchange (0-5 du/ac) for property owned by Min Sun Cho, Hong Sik and Deok Hwa Kim and located at 4068, 4046, & 4022 Plymouth Sorrento Road. (Parcel ID Nos.: 13-20-27-0000-00-019; 13-20-27-0000-00-020; 13-20-27-0000-00-021; 13-20-27-0000-00-058)
- 4. COMPREHENSIVE PLAN SMALL SCALE FUTURE LAND USE AMENDMENT From Agriculture to Industrial (Max. 0.6 FAR) for property owned by 3255 Clarcona Road LLC (aka Randall Mechanical) and located at 3307 Clarcona Road. (Parcel ID No. 27-21-28-0000-00-045)
- 5. CHANGE OF ZONING From AG (Agriculture) to I-1 (Restricted Industrial) for property owned by 3255 Clarcona Road LLC (aka Randall Mechanical) and located at 3307 Clarcona Road. (Parcel ID No. 27-21-28-0000-00-045)
- 6. CHANGE OF ZONING From C-2 (General Commercial District) to C-1 (Commercial Retail District) for property owned by SunTrust Bank and located at 936 East Semoran Boulevard. (Parcel ID No. 11-21-28-0750-00-070)

- 7. CHANGE OF ZONING PUD MASTER PLAN VISTA RESERVE From R-1AA (Residential Single Family District) to PUD (Planned Unit Development) for property owned by Wafaa Mikhail, George Abdelsayed, Lucy Abdelsayed, Wafeek Abdelsayed and located on the east side of Rogers Road, approximately one half mile north of the intersection of Rogers Road and Lester Road. (Parcel ID No. 29-20-28-0000-00-003)
- 8. VARIANCE Approve a variance of the Apopka Code of Ordinances, Part III, Land Development Code, Article II, Section 2.02.05(H)(2) to allow a 6-foot tall composite fence within a 5-foot wide bufferyard in lieu of the required 6-foot tall brick, stone or decorative block wall within a 5-foot wide bufferyard on the western, northern and eastern perimeters for the property owned by Laura R. Murphy and located at 359 West Lester Road. (Parcel ID No. 28-20-28-0000-00-060)
- 9. VARIANCE Approve a variance of the Apopka Code of Ordinances, Part III, Land Development Code, Article II, Section 2.02.07(H)(1)(a) to allow a 6-foot tall aluminum fence with masonry columns for portions of the proposed wall length and a 6-foot tall vinyl fence as part of the screening in areas adjacent to North Bradshaw Road or the eastern property line in lieu of the required 6-foot tall brick, stone or decorative block wall for the property owned by TGINF, LLC and located at 501 Old Dixie Highway. (Parcel ID No. 09-21-28-0000-00-006)

V. SITE PLANS:

- 1. PRELIMINARY DEVELOPMENT PLAN HIDDEN LAKE RESERVE SUBDIVISION Property owned by TGINF, LLC c/o Alan Goldberg and located at 501 Old Dixie Highway. (Parcel ID No.: 09-21-28-0000-00-006)
- 2. FINAL DEVELOPMENT PLAN\PLAT STANTON RIDGE Property owned by Central Florida Expressway Authority and the property straddles SR 429, west of the intersection of Belgion Street and Plymouth Sorrento Road.
- 3. FINAL DEVELOPMENT PLAN WEKIVA RIVERWALK SHOPPING CENTER Property owned by Woolbright Wekiva, LLC and located at 2121 East Semoran Boulevard. (Parcel ID No.: 12-21-28-9093-00-010)

VI. OLD BUSINESS:

VII. NEW BUSINESS:

VIII. ADJOURNMENT:

All interested parties may appear and be heard with respect to this agenda. Please be advised that, under state law, if you decide to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which record includes a testimony and evidence upon which the appeal is to be based. The City of Apopka does not provide a verbatim record.

In accordance with the American with Disabilities Act (ADA), persons with disabilities needing a special accommodation to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka, FL 32703, telephone (407) 703-1704, no less than 48 hours prior to the proceeding.

MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON MAY 22, 2018, AT 5:30 P.M. IN THE CITY COUNCIL CHAMBERS, APOPKA, FLORIDA.

MEMBERS PRESENT: Linda Laurendeau, Tony Foster, Jose Molina, and Patrice Phillips

ABSENT: James Greene, Roger Simpson, John Sprinkle, Orange County Public Schools (Non-voting)

STAFF PRESENT: James Hitt, FRA-RA – Community Development Director, David Moon, AICP – Planning Manager, Patrick Brackin – City Attorney, Bobby Howell - Senior Planner, Jean Sanchez – Planner II, Phil Martinez – Planner I, and Jeanne Green – Recording Secretary.

OTHERS PRESENT: Elizabeth Draper, Bryan Gaines, Rick Thometz, James Hoffman, Scott Glass, Jeb Bittner, Jim Hall, Jimmy Dunn, and Alexander H. Smith

OPENING AND INVOCATION: Vice-Chair Laurendeau called the meeting to order and asked for a moment of silent prayer. The Pledge of Allegiance followed.

APPROVAL OF MINUTES: Vice-Chair Laurendeau asked if there were any corrections or additions to the regular meeting minutes of May 8, 2018, at 5:30 p.m.

Motion: Tony Foster made a motion to approve the Planning Commission minutes from the regular meeting held on May 8, 2018, at 5:30 p.m. and seconded by Jose Molina. Aye votes were cast by Linda Laurendeau, Tony Foster, Jose Molina, and Patrice Phillips

(4-0).

LEGISLATIVE – **COMPREHENSIVE** PLAN – LARGE SCALE – FUTURE LAND USE AMENDMENT – Vice-Chair Laurendeau stated this is a request to find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend transmittal of the Future Land Use Map designation from Agriculture and Mixed Use to Industrial to the Florida Department of Economic Opportunity for the property owned by Eagles Landing at Ocoee, LLC, and located south of Peterson Road and west of State Road 429.

Staff Presentation: Phil Martinez, Planner I, stated this is a request to find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend transmittal of the Future Land Use Map designation from Agriculture and Mixed Use to Industrial to the Florida Department of Economic Opportunity for the property owned by Eagles Landing at Ocoee, LLC, and located south of Peterson Road and west of State Road 429. The existing use is vacant land and the potential development is 977,486 sq. ft. industrial, commercial wholesale, or commercial services space. The current zoning is R-1AA (Single Family Residential), A-1 (ZIP), Agriculture, and Mixed Use-Employment Center. The proposed zoning is Planned Unit Development. The existing maximum allowable development is 511 dwelling units. The proposed maximum allowable development is 977,486 sq. ft. The tract size is 37.4 +/- acres with 34.05 +/- acres Mixed Use and 3.35 +/- acres of Agriculture.

The applicant intends to use the subject properties for an industrial park, and requests the City to assign a future land use designation of Industrial to the property. An industrial warehouse developer has proposed to city staff to couple the subject site to industrial-zoned parcels to the north and northeast for an industrial complex.

The subject properties were annexed into the City on May 20, 1998 via Ordinance 1171 and on July 3, 2006 via Ordinance 1833. The proposed Large Scale Future Land Use Amendment is being requested by the owner/applicant. Pursuant to Florida law, properties ten acres or more are required to undergo review by State planning agencies.

MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON MAY 22, 2018, AT 5:30 P.M.

A request to assign a Future Land Use Designation of Industrial is compatible with the designations assigned to abutting properties. The FLUM application covers approximately 37.4 acres.

Industrial FLUM Uses: "The primary use shall be *industrial*, intensive commercial, agricultural and business/research parks. Also allowed are public facilities and supporting infrastructure. The use of the Planned Unit Development process shall be encouraged. The maximum floor area ratio shall be 0.60." [Emphasis added]

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report). Based on the findings of the Land Use report, the proposed FLUM amendment is compatible with the surrounding and nearby land uses and the character of the general area.

The proposed use of the property is consistent with the Institutional/Public Use designation and the proposed Professional Office\Institutional zoning.

Since the proposed use, an industrial park, is a non-residential use, a capacity enhancement agreement with OCPS is not required.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on May 9, 2018.

The Development Review Committee finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommends transmittal of the change in Future Land Use from Agriculture (0-1 du/5 ac) and Mixed Use to Industrial for the properties owned by Eagles Landing at Ocoee, LLC.

Staff recommended the Planning Commission find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend transmittal of the Future Land Use Map designation from Agriculture and Mixed Use to Industrial to the Florida Department of Economic Opportunity.

This item is considered Legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Vice-Chair Laurendeau opened the meeting for public hearing. With no one wishing to speak, Vice-Chair Laurendeau closed the public hearing.

Motion:

Jose Molina made a motion to find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend transmittal of the Future Land Use Map designation from Agriculture and Mixed Use to Industrial to the Florida Department of Economic Opportunity for the property owned by Eagles Landing at Ocoee, LLC, and located south of Peterson Road and west of State Road 429. Motion seconded by Tony Foster. Aye votes were cast by Linda Laurendeau, Tony Foster, Jose Molina, and Patrice Phillips (4-0). (Vote taken by poll.)

QUASI-JUDICIAL – PRELIMINARY DEVELOPMENT PLAN – BRIDLE PATH SUBDIVISION

- Vice-Chair Laurendeau stated this is a request to find the Bridle Path Preliminary Development Plan consistent with the Comprehensive Plan, Kelly Park Interchange Form Based Code, and Bridle Path Master Plan; and recommend approval of the Bridle Path Preliminary Development Plan subject to the findings of this staff report and City Council approval of a Development Agreement for the property owned by AHIFO-18 LLC and located west of Plymouth-Sorrento Road and east of SR 429, approximately one-half mile north of the intersection of Kelly Park Road and Plymouth-Sorrento Road.

Vice-Chair Laurendeau asked if there were any affected parties in attendance that wished to speak. No one spoke.

Vice-Chair Laurendeau asked if the Commission members had any ex parte communications to divulge regarding this item. No one spoke.

Staff Presentation: Bobby Howell, AICP, Senior Planner, stated this is a request to find the Bridle Path Preliminary Development Plan consistent with the Comprehensive Plan, Kelly Park Interchange Form Based Code, and Bridle Path Master Plan; and recommend approval of the Bridle Path Preliminary Development Plan subject to the findings of this staff report and City Council approval of a Development Agreement for the property owned by AHIFO-18 LLC and located west of Plymouth-Sorrento Road and east of SR 429, approximately one-half mile north of the intersection of Kelly Park Road and Plymouth-Sorrento Road. The existing uses are a vacant, abandoned two-story house and horse stables. The proposed use is a 152 singly family home subdivision including a pool house and multi-use trails. The current future land use amendment is "City" Mixed Use Interchange (1–5 du/ac) as adopted May 16, 2018 and the current zoning is "County" PD (ZIP) and the proposed zoning is "City" KPI-MU (Kelly Park Interchange Mixed Use) and assignment of the Kelly Park Interchange Neighborhood Overlay District. The tract size is 51 +/-acres

The owner of the subject property is requesting approval of a Preliminary Development Plan for a 152 unit, single-family detached subdivision located east of SR 429 and west of Plymouth-Sorrento Road, approximately one-half mile north of the intersection of Kelly Park Road and Plymouth-Sorrento Road. The owner is AHIFO-18, LLC. The property is located within the one-mile radius from the SR 429/Kelly Park Road interchange and is subject to the requirements of the Kelly Park Interchange Form Based Code, including its architectural standards for single family homes.

Development Profile:

No. of residential lots: 152 single family homes, detached

Minimum lot width: 50 feet (all lots 50 feet wide)

Minimum lot depth: 110 Feet (all lots 110 feet deep)

Minimum lot size: 5,500 square feet (all proposed\FBC has no minimum lot size)

Minimum house livable area: 1,500 square feet (proposed\FBC does not address)

Setbacks:

Front: Min. 15 feet – Max. 30 feet

Rear: Min. 20 feet Side: Min. 5 feet Garage: Same as front

Overflow Parking None

Driveway length: Min. 15 feet – Max. 30 feet

On-street parking: None proposed

Max. number of floors: Two

Parking: Two spaces per house within the lot (enclosed or exterior; FBC does

not require enclosed parking). No overflow parking proposed.

Amenities:

- Pool house with cabana; no parking spaces
- Walking paths around stormwater ponds (developer proposes mulch\staff recommends established surface concrete or asphalt)
- Regional Trails: two along Plymouth-Sorrento Road, and internal along stormwater pond and wetland edges.

The Preliminary Development Plan proposes development of the property with a total of 152 single-family homes on 50-foot by 110-foot wide lots and a minimum living area of 1,500 square feet. The property is located within the one-mile radius from the SR 429/Kelly Park Road interchange and is subject to the requirements of the Kelly Park Interchange Form Based Code. There are no minimum and maximum lot size and living area requirements in the Kelly Park Interchange Form Based Code. The project may be developed in multiple phases, with each phase determined upon submittal of the Final Development Plan. The Preliminary Development Plan details design of the proposed subdivision in accordance with the requirements of the Kelly Park Interchange Form Based Code, and the Neighborhood character zone, which primarily allows single-family homes as permitted uses. The surrounding properties consist of single-family residential and agricultural uses.

Roads and Paths -- Access to the site is proposed via Plymouth-Sorrento Road. A dedication of a 30-foot wide strip for future right-of-way needs for Plymouth-Sorrento Road is detailed on the Master Plan. Behind this strip, a 30-foot area will be reserved for a landscape buffer along Plymouth-Sorrento Road. Three roadway connections will be provided to allow cross-access to the properties to the north and south at such time they develop. The Preliminary Development Plan details the design of the internal street system with public streets utilizing a walkable grid design, which is a fused grid design that includes varied street, sidewalk and pedestrian pathways throughout a development that links developments. A 10-foot wide trail will be constructed within the development, and connections to the properties to the north and south will be provided to facilitate development of a regional trail system. A cul-de-sac is provided in the southwestern corner of the site, adjacent to the park and stormwater pond, and is provided to accommodate trail connection and to create an open space corridor along stormwater pond system and wetland area. Properties adjacent to the cul-de-sac will have access to the trail system which will allow pedestrian access to the common areas internal to the development. The developer will provide a 12-foot wide multi-purpose trail along the portion of the development abutting Plymouth-Sorrento Road to help facilitate the construction of the regional trail system.

Environmental\Open Space -- A wetland area exists in the northwest corner of the development. A spring is located within the wetland area. Per the Comprehensive Plan, a 300-foot buffer will be provided around the spring. Stormwater ponds are located in the southwestern corner of the site. Four-foot wide walking paths are provided around the perimeter of the ponds. Twenty-percent of the total site area will remain as open space in accordance with the requirements of the Form Based Code. Common recreation elements include a clubhouse with a pool, an internal trail system, preserved wetlands, upland buffers, and a park/stormwater facility.

The proposed use of the property is consistent with the Mixed-Use Interchange Future Land Use designation and is consistent with the Kelly Park Interchange Form Based Code.

A School Capacity Enhancement Agreement has been approved by OCPS. The location is served by the following schools: Zellwood Elementary, Wolf Lake Middle, and Wekiva High School. No development activity shall occur on the subject property until the developer has obtained a school concurrency mitigation agreement or letter from OCPS.

Pursuant to Section 7 of the Joint Planning Area agreement, Orange County was notified on April 3, 2018.

The Development Review Committee recommends approval of the Bridle Path Preliminary Development Plan.

Staff recommended the Planning Commission find the Bridle Path Preliminary Development Plan consistent with the Comprehensive Plan, Kelly Park Interchange Form Based Code, and Bridle Path Master Plan; and recommend approval of the Bridle Path Preliminary Development Plan subject to the findings of this staff report and City Council approval of a Development Agreement.

MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON MAY 22, 2018, AT 5:30 P.M.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Petitioner: Jim Hall, HDSI, 1302 Osprey Avenue, Orlando, stated he represents the owners of the property. After a brief confirmation of staff's presentation, Mr. Hall stated that the development agreement between the property owner and the City is being finalized and will address the development requirements.

Mr. Moon advised the Planning Commission that their motion, if they plan to recommend approval, needs to include the execution of the Developer's Agreement that will address issues such as the dedication of property to allow for the future widening of Plymouth Sorrento Road; and the timing of the development of the park and open space.

In response to a question by Ms. Phillips, Mr. Hall stated that at this time they are preparing the property and do not have a builder. It is too early in the process to know what the cost of the houses will be.

Vice-Chair Laurendeau opened the meeting for public hearing. With no one wishing to speak, Vice-Chair Laurendeau closed the public hearing.

Motion:

Tony Foster made a motion to the Bridle Path Preliminary Development Plan consistent with the Comprehensive Plan, Kelly Park Interchange Form Based Code, and Bridle Path Master Plan; and recommend approval of the Bridle Path Preliminary Development Plan subject to the findings of this staff report and City Council approval of a Development Agreement for the property owned by AHIFO-18 LLC and located west of Plymouth-Sorrento Road and east of SR 429, approximately one-half mile north of the intersection of Kelly Park Road and Plymouth-Sorrento Road. Motion seconded by Patrice Phillips. Aye votes were cast by Linda Laurendeau, Tony Foster, Jose Molina, and Patrice Phillips (4-0). (Vote taken by poll.)

OLD BUSINESS: None.

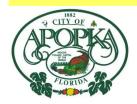
NEW BUSINESS: None.

ADJOURNMENT: The meeting was adjourned at 5:57 p.m.

Linda Laurendeau, Vice-Chairperson

James K. Hitt, FRA-RA

Community Development Director



CITY OF APOPKA PLANNING COMMISSION

X PUBLIC HEARING SITE PLAN

SPECIAL REPORTS

OTHER:

MEETING OF: June 12, 2018

FROM: Community Development

EXHIBITS: Zoning Report

Vicinity Map Zoning Map Adjacent Uses

<u>SUBJECT</u>: CHANGE OF ZONING – JTD LAND AT ROGERS ROAD LLC (AKA

CARRIAGE HILL PHASE 2)

REQUEST: CHANGE OF ZONING – JTD LAND AT ROGERS ROAD LLC (AKA

CARRIAGE HILL PHASE 2)

FROM: R-1AA (SINGLE FAMILY RESIDENTIAL)
TO: R-1 (SINGLE FAMILY RESIDENTIAL)

SUMMARY:

OWNER: JTD Land at Rogers Road, LLC

APPLICANT: Dewberry c/o Sarah Maier

LOCATION: 1455 W. Lester Road

PARCEL ID NUMBER: 29-20-28-0000-00-005

EXISTING USE: Vacant, Woodlands and Grasslands

CURRENT ZONING: R-1AA

FUTURE LAND USE DESG.: Res. Low Suburban (0 - 3.5 du/ac)

DEVELOPMENT POTENTAIL: 36 Single Family Homes

PROPOSED ZONING: R-1 (Single Family Residential District)

TRACT SIZE: 5.75 +/- acres

MAXIMUM ALLOWABLE

DEVELOPMENT UNDER EXISTING: 20 single family homes ZONING DISTRICT: PROPOSED: 20 single family homes

DISTRIBUTION

Mayor NelsonFinance DirectorPublic Services DirectorCommissionersHR DirectorRecreation Director

City Administrator IT Director City Clerk
Community Development Director Police Chief Fire Chief

CITY COUNCIL – JUNE 12, 2018 JTD LAND AT ROAGERS ROAD – CHANGE OF ZONING PAGE 2

<u>ADDITIONAL COMMENTS</u>: Presently, the subject property is assigned a zoning category of R-1AA. The applicant is requesting the City to assign a zoning classification of R-1 (Single Family Residential) to the northern 5.75 acres of the property. Access will occur from public roads within Carriage Hills Phase 1.

The subject parcel was annexed into the city on August 22, 1990 by Ordinance Number 624.

A request to assign a change of zoning to R-1 is compatible to the adjacent zoning classifications and with the general character of abutting properties and surrounding area. Carriage Hill Phase 1, is the west adjacent property, also zoned R-1. The subject property is intended to incorporate into Carriage Hill Phase 1 with the same R-1 zoning.

<u>COMPREHENSIVE PLAN COMPLIANCE</u>: The existing and proposed zoning of the property is consistent with the proposed Residential Low Suburban (0-3.5 du / ac) Future Land Use designation.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on April 2, 2018.

PUBLIC HEARING SCHEDULE:

June 12, 2018 - Planning Commission (5:30 pm) June 20, 2018 - City Council (7:00 pm) - 1st Reading August 1, 2018 - City Council (1:30 pm) - 2nd Reading and Adoption

DULY ADVERTISED:

Public Notice and Notification-June 1, 2018

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from R-1AA to R-1 for the property owned by JTD Land at Rogers Road, LLC, and located at 1455 West Lester Road.

Recommended Motion: Planning Staff recommends finding the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from R-1AA to R-1 for the property owned by JTD Land at Rogers Road, LLC, and located at 1455 West Lester Road.

Note: This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

Direction	Future Land Use	Zoning	Present Use
North	Residential Low Suburban	R-1AA	Vacant Property
East	Residential Low Suburban	PUD	Oak Hill Reserve Subdivision
South	Residential Low Suburban	PUD	HOA Park
West	Residential Low Suburban	R-1	Carriage Hill Phase 1

LAND USE & TRAFFIC COMPATIBILITY:

The proposed access point for this property is from Carriage Pointe Loop, a street in Carriage Hill Phase 1.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed R-1 zoning is consistent with the proposed Future Land Use designation, "Residential Low Suburban" (0-3.5 du / ac) and with the character of the surrounding area and future proposed development. Development Plans shall not exceed the density allowed in the adopted Future Land Use designation.

ALLOWABLE USES:

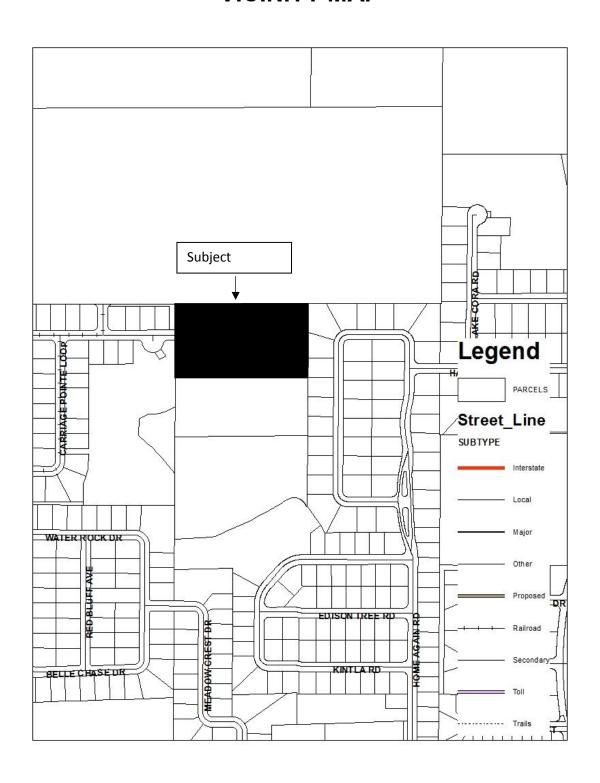
- 1. Single-family dwellings and their customary accessory structures and uses in accordance with article VII of this code.
- 2. Supporting infrastructure and public facilities of less than five acres as defined in this code and in accordance with section 2.02.01



JTD Land at Rogers Rd, LLC 5.75 +/- acres Proposed Change of Zoning: From: R-1AA To: R-1

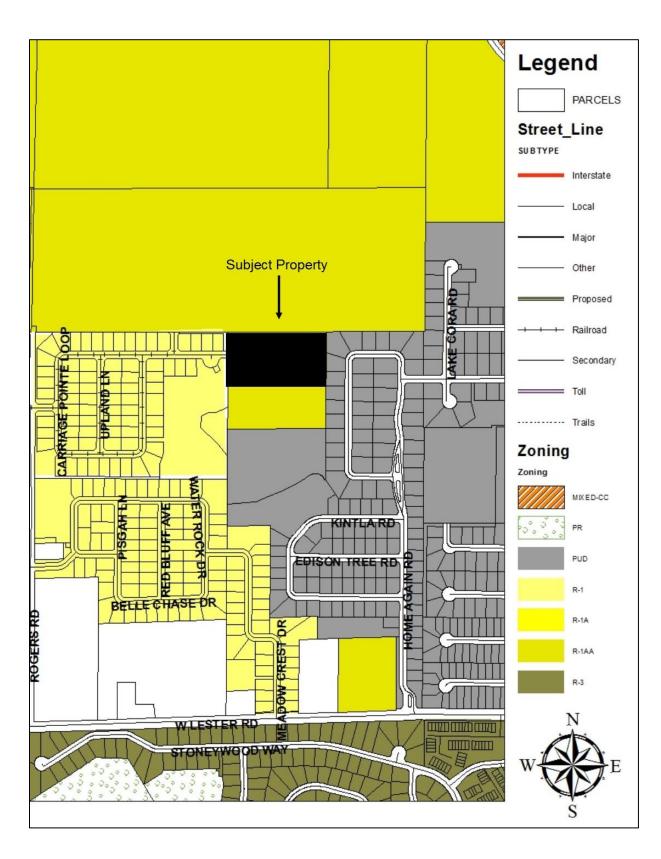
Parcel ID #: 29-20-28-0000-00-005

VICINITY MAP





ADJACENT ZONING MAP





ADJACENT USES MAP





X OTHER: Master Plan/PDP

CITY OF APOPKA PLANNING COMMISSION

CONSENT AGENDA MEETING OF: June 12, 2018

X PUBLIC HEARING FROM: Community Development

SPECIAL REPORTS EXHIBITS: Zoning Report

Vicinity Map

Adjacent Zoning Map Adjacent Uses Map Existing Use Map

Ex. A – Master Plan/PDP

SUBJECT: CHANGE OF ZONING, ASSIGNMENT OF KPC INTERCHANGE AND

VILLAGE CENTER OVERLAY DISTRICTS, AND APPROVAL OF MASTER PLAN/PRELIMINARY DEVELOPMNENT PLAN – KELLY PARK ROAD

PUBLIX CENTER

REQUEST: RECOMMEND APPROVAL OF THE CHANGE OF ZONING AND ASSIGN

OVERLAY DISTRICTS AS KPC INTERCHANGE AND VILLAGE CENTER

OVERLAY DISTRICTS

FROM: "COUNTY" A-1 (ZIP)

TO: "CITY" KPI-MU (KELLY PARK INTERCHANGE MIXED USE)

SUMMARY:

OWNER: JD and Kathleen L Horne Trust

APPLICANT: Randy Holihan, Brandon Partners

LOCATION: 4966 Plymouth-Sorrento Road

PARCEL ID NUMBER: 13-20-27-0000-00-008

EXISTING USE: Vacant

FLUM DESIGNATION: City of Apopka Mixed Use Interchange

CURRENT ZONING: Orange County A-1 (ZIP)

PROPOSED DEVELOPMENT: 68,231 square feet of commercial uses including a 46,031 square

foot Publix supermarket

PROPOSED ZONING: Kelly Park Interchange Mixed-Use (KPI-MU)

TRACT SIZE: 18.13 +/- acres

DISTRIBUTION

Mayor NelsonFinance DirectorPublic Services DirectorCommissionersHR DirectorRecreation Director

City Administrator IT Director City Clerk
Community Development Director Police Chief Fire Chief

<u>ADDITIONAL INFORMATION</u>: The owner of the subject property is requesting a rezoning of 18.13 acres of property from Orange County A-1 (ZIP) to Kelly Park Interchange Mixed-Use (KPI-MU), with an Interchange and Village Center character zone to develop a 68,231 square foot commercial development including a 46,031 Publix supermarket subject to the requirements of the Kelly Park Interchange Form Based Code. The subject property is located east of SR 429 and west of Plymouth-Sorrento Road, on the southwest side of the intersection of Kelly Park Road and Plymouth-Sorrento Road. The owner of the property is JD and Kathleen L Horne Trust.

Development Profile:

Setbacks:

Front: Min. 8 feet – Max. 20 feet – Village Center, Min. 10 feet, Max. 20 feet -

Interchange

Rear: Min. 10 feet - Village Center, Min. 10 ft. – Interchange Side: Min. 0 feet – Village Center, Min. 7.5 – Interchange

Overflow Parking None

Driveway length: Min. 15 feet – Max. 30 ft. On-street parking: 9 parking spaces provided

Maximum building height: Min. 2 stories encouraged, Max. 5 stories – Village Center, Min. N/A, Max.

8 stories – Interchange

Off-street parking: 293 parking spaces

In accordance with the requirements of the Kelly Park Interchange Form Based Code, the owner has submitted a Master Plan in conjunction with the rezoning application detailing the development of the proposed commercial center. The property currently has a future land use designation of City of Apopka Mixed Use Interchange, which is a consistent future land use category with the KPI-MU zoning designation. The property is located within the one-mile radius from the SR 429/Kelly Park Road interchange.

PROJECT DESCRIPTION: The Master Plan/Preliminary Development Plan proposes development of the property with a total of 68,231 square feet of commercial uses including a 46,031 square foot Publix supermarket on 18.13 acres. The Master Plan/Preliminary Development Plan details design of the proposed development in accordance with the requirements of the Kelly Park Interchange Form Based Code, and the Village Center and Interchange character zones, which allows commercial development as permitted uses. The surrounding properties currently consist primarily of agricultural uses.

The Master Plan/Preliminary Development Plan proposes dividing the property into three blocks, labeled as Blocks "A", "B", and "C". Block "A" will consist of a 7,200 square foot retail building, parking to serve the commercial uses, and a 0.9 acre outparcel labeled as "future development." Block "B" will consist of a 46,031 square foot Publix supermarket, and three retail buildings ranging in size from 3,000 to 6,000 square feet, and parking to serve the commercial uses. Block "C" is 7.33 acres and is reserved for future development. A temporary stormwater retention pond serving Blocks "A" and "B" will be located on Block "C". The applicant proposes to assign the Village Center character zone to Blocks "A" and "B", and the Interchange character zone to Block "C".

Access to the site is proposed via a full access point and a right-in/right-out located on Kelly Park Road, and a right-in/right-out and a full access located on Plymouth-Sorrento Road. The Master Plan/Preliminary Development Plan details the dedication of 100-feet of right-of-way in the center of the property to the City. This public right-of-way will facilitate the development of the internal north-south roadway to Appy Lane.

PLANNING COMMISSION – JUNE 12, 2018 KELLY PARK PUBLIX – CHANGE OF ZONING, PRELIMINARY DEVELOPMENT PLAN PAGE 3

The Master Plan/Preliminary Development Plan details the development of this roadway within the subject property in accordance with street type B (Village Center Access Street) as outlined in the Kelly Park Interchange Form Based Code. A 9-foot wide on-street parking area, a 7-foot wide bike lane, an 8-foot wide sidewalk, a 12-foot wide drive lane, and an 11-foot median will be constructed on this road. A 12-foot wide bicycle/pedestrian trail will be provided along the eastern portion of the property abutting Kelly Park Road. A five foot wide sidewalk will be dedicated along Plymouth-Sorrento Road. An internal pedestrian network will be established within the commercial portion of the site. A landscape gateway with an entry feature and water feature will be provided at the main entrance to the development on Kelly Park Road. 20-percent of the total site area will remain as open space in accordance with the requirements of the Form Based Code.

<u>DEVELOPMENT AND ZONING CONDITIONS OF APPROVAL</u>: That the zoning classification of the following described property be designated as Kelly Park Interchange Mixed-Use (KPI-MU), Neighborhood character zone, as defined in the Kelly Park Interchange Form Based Code, and with the following provisions:

- 1. Development of the property is subject to the requirements of the Kelly Park Interchange Form Based Code, Neighborhood character zone.
- 2. The architectural design of the buildings must be consistent with Section K.2.g, and Appendix A of the Kelly Park Interchange Form Based Code.
- 3. A 12-foot wide multi-purpose trail will be constructed along the portion of the development abutting Plymouth-Sorrento Road to facilitate the construction of a regional trail system. (Policy 20.19, FLUE; Sec. Q, FBC). The trail shall be placed in an easement or tract.
- 4. Perpetual easements dedicated to the City of Apopka shall be provided over the internal pedestrian pathways and trail networks to allow public access.
- 5. A development agreement shall address the extension of utilities, dedication of rights-of-way, and public access to regional trail facilities.

<u>COMPREHENSIVE PLAN COMPLIANCE</u>: The proposed use of the property is consistent with the Mixed-Use Interchange Future Land Use designation and is consistent with the Kelly Park Interchange Form Based Code.

ORANGE COUNTY NOTIFICATION: Pursuant to Section 7 of the Joint Planning Area agreement, Orange County was notified on May 11, 2018.

PUBLIC HEARING SCHEDULE:

June 12, 2018 - Planning Commission (5:30 pm) July 18, 2018 - City Council (7:00 pm) - 1st Reading August 1, 2018 - City Council (1:30 pm) - 2nd Reading

DULY ADVERTISED:

June 1, 2018 – Public Notice; Letter, Poster

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed rezoning to Kelly Park Interchange Mixed-Use (KPI-MU), and assignment of a Village Center and Interchange character zones consistent with the Comprehensive Plan and Kelly Park Interchange Form Based Code, and recommends approval of the Kelly Park Publix Master Plan/Preliminary Development Plan.

Recommended Motion: Find the proposed zoning, overlay district and Master Plan/Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the rezoning of the subject parcels from Orange County A-1 (ZIP) to Kelly Park Interchange Mixed-Use (KPI-MU) and assign the KPC Village Center and Interchange Overlay Districts, and approval of the Master Plan/Preliminary Development Plan based on the findings and facts presented in the staff report, exhibits, and City Council approval of a Development Agreement for the property owned by JD and Kathleen L Horne Trust and located at 4966 Plymouth-Sorrento Road.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

Direction	Future Land Use	Zoning	Present Use
North (City) (County)	Rural	A-1 (ZIP), A-1	Single-family residential/ Kelly Park Road right-of-way
East (City)	Very Low Suburban	A-1 (ZIP)	Plymouth-Sorrento Road, Single-family residential
South (County)	Rural	A-1	Penang Nursery
West (County)	None	SR 429 right-of-way	SR 429

LAND USE &

TRAFFIC COMPATIBILITY: The property is accessed via Kelly Park Road and Plymouth-Sorrento

Road. Internal streets are public and will be owned and maintained by the City of Apopka. Future land use designations and zoning categories assigned to properties to the north, south, east, and west are

predominantly residential, and agricultural.

COMPREHENSIVE

PLAN COMPLIANCE: The proposed Kelly Park Interchange Mixed-Use (KPI-MU) zoning

is compatible with policies set forth in the Comprehensive Plan.

ALLOWABLE

USES: Commercial uses as set forth within the Master Plan.

PLANNING COMMISSION – JUNE 12, 2018 KELLY PARK PUBLIX – CHANGE OF ZONING, PRELIMINARY DEVELOPMENT PLAN PAGE 6

Project: KELLY PARK PUBLIX

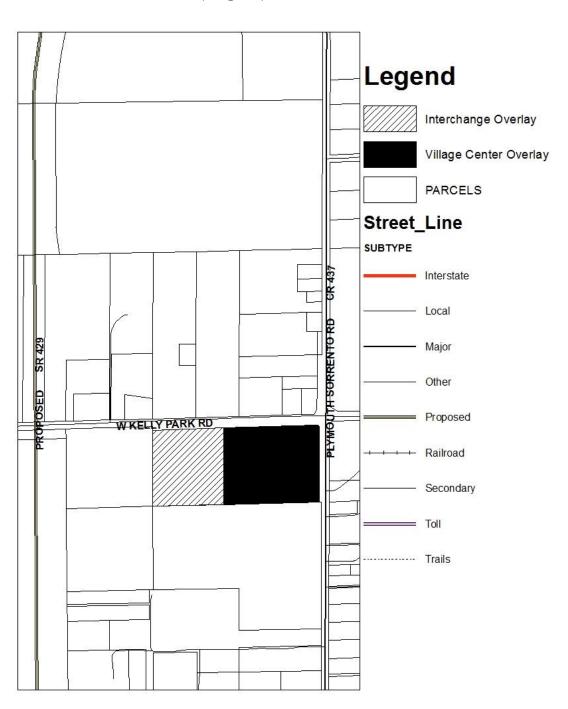
Owned by: JD and Kathleen L. Horne Trust

Located: East of SR 429, south of Kelly Park Road and west of Plymouth-Sorrento Road

Parcel ID#: 13-20-27-0000-00-008

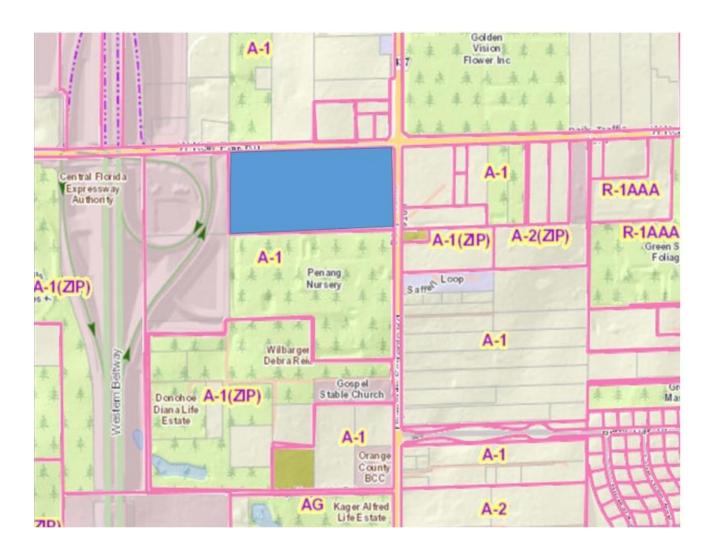


VICINITY MAP





ADJACENT ZONING



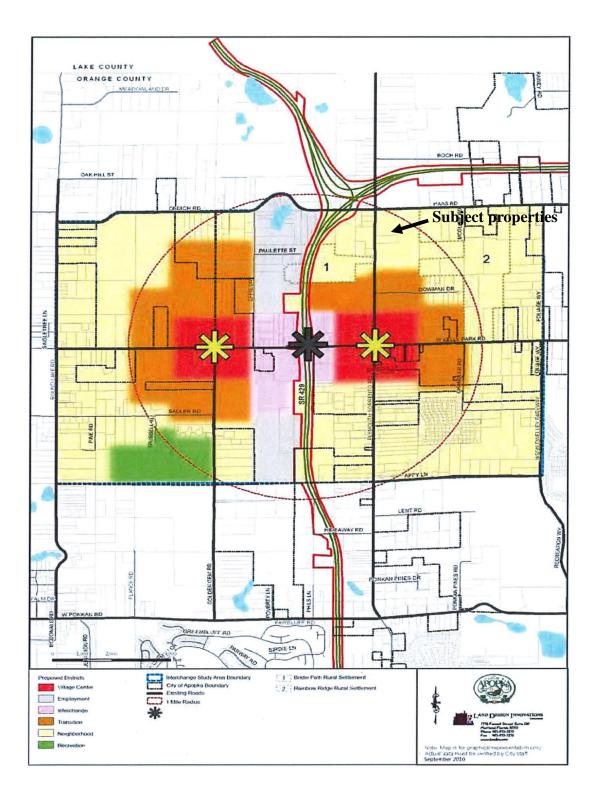


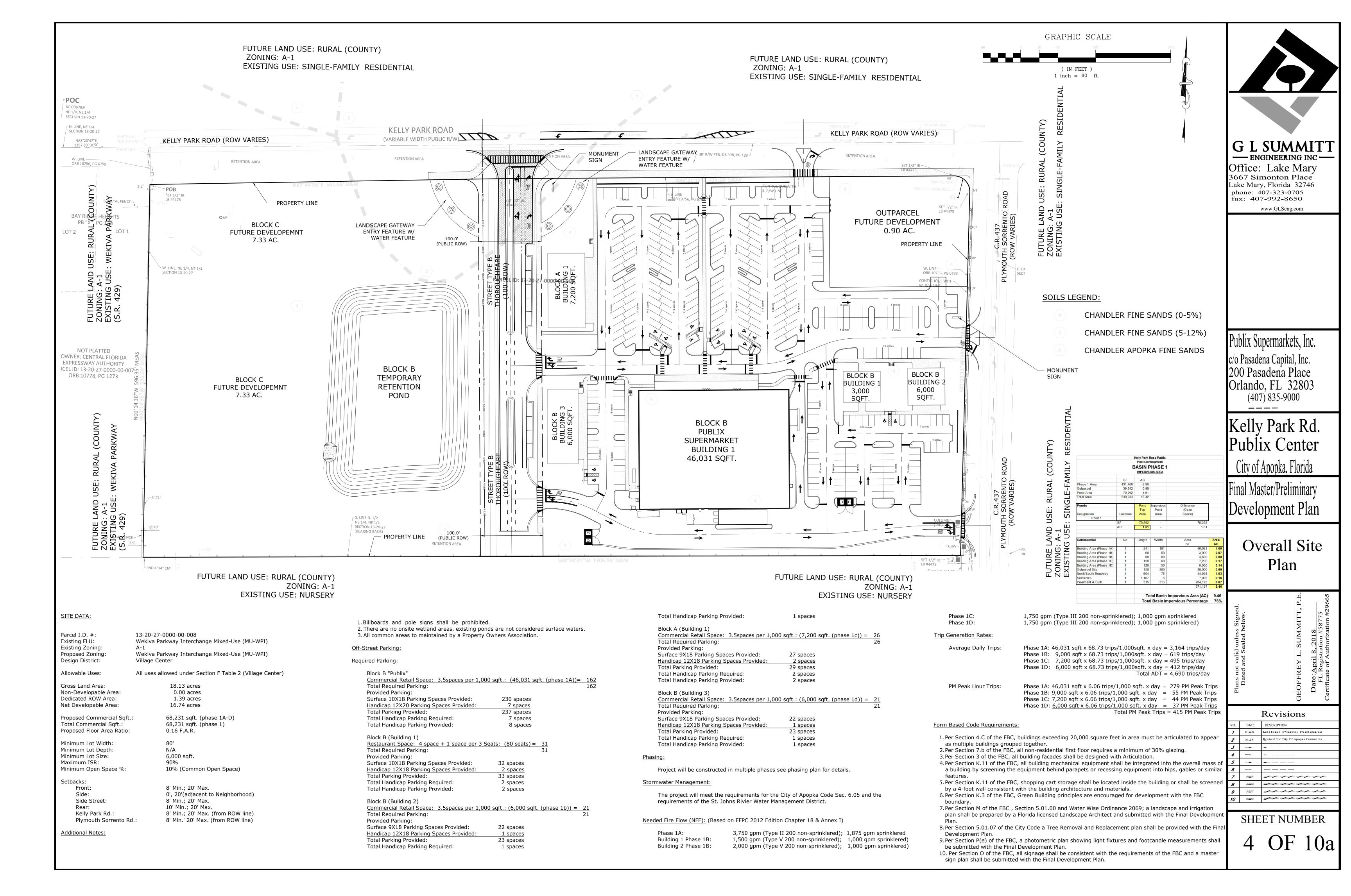
ADJACENT USES

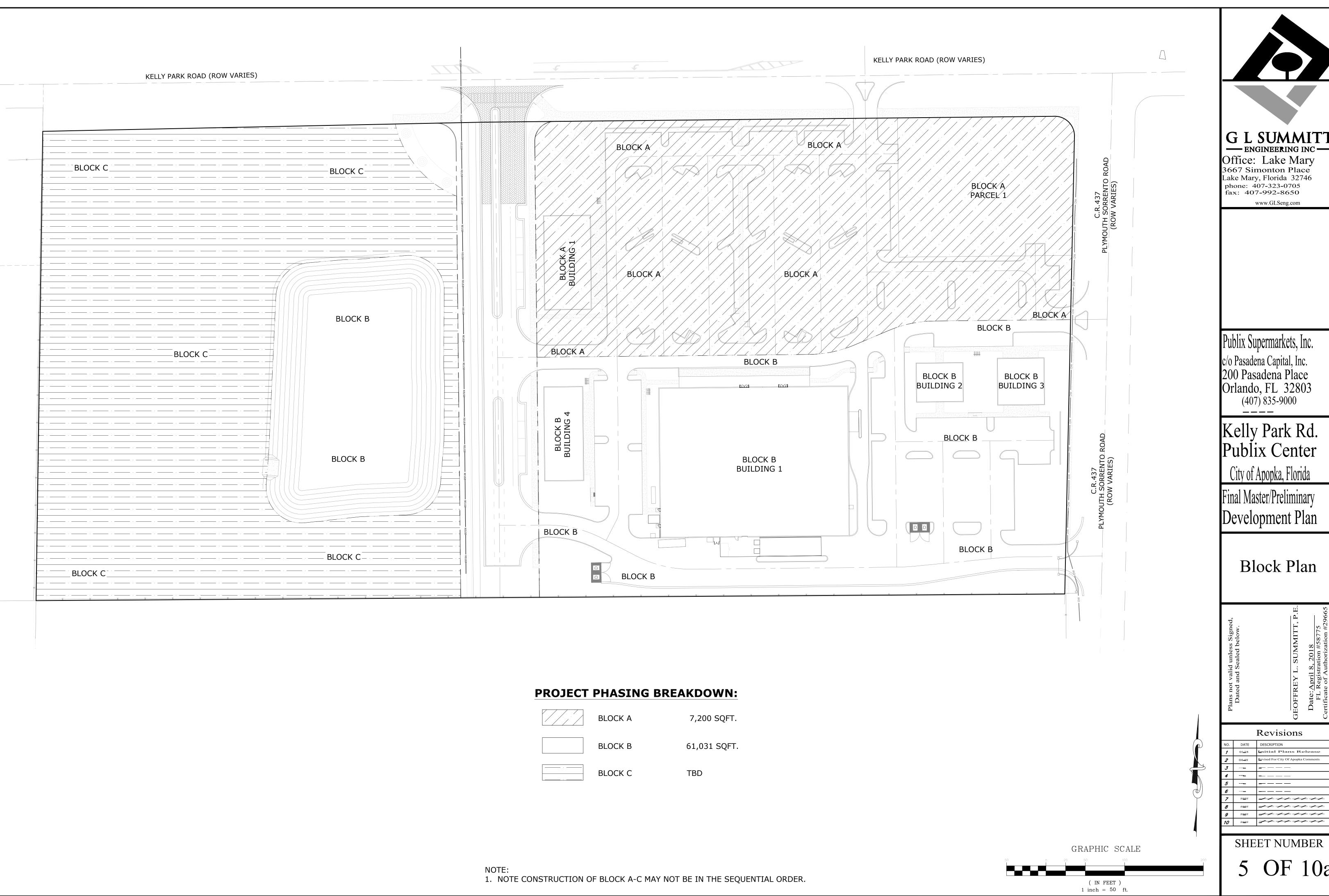


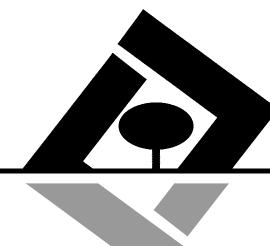


Kelly Park Crossing Form-Based Code Area









Office: Lake Mary 3667 Simonton Place Lake Mary, Florida 32746 phone: 407-323-0705 fax: 407-992-8650

www.GLSeng.com

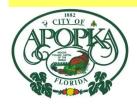
Final Master/Preliminary

Development Plan

Block Plan

Revisions

5 OF 10a



CITY OF APOPKA PLANNING COMMISSION

X PUBLIC HEARING
SITE PLAN
SPECIAL REPORTS
OTHER:

MEETING OF: June 12, 18

FROM: Community Development

EXHIBITS: Land Use Report

Vicinity Map

Future Land Use Map Adjacent Zoning Map

Aerial Map WPIVP¹ Map

WPIVP Character Districts Comp Plan Objectives JPA Amendment No. 2

<u>SUBJECT:</u> COMPREHENSIVE PLAN – LARGE SCALE – FUTURE LAND USE

AMENDMENT – MIN SUN CHO ET. AL. (AKA RESERVE AT KELLY PARK)

REQUEST: COMPREHENSIVE PLAN – LARGE SCALE – FUTURE LAND USE

AMENDMENT – MIN SUN CHO ET. AL. (AKA RESERVE AT KELLY PARK)

FROM: RESIDENTIAL VERY LOW SUBURBAN (0-2 DU/AC)

TO: MIXED USE INTERCHANGE (0-5 DU/AC)

SUMMARY:

OWNERS/APPLICANTS: Min Sun Cho, Hong Sik & Deok Hwa Kim

LOCATION: 4068, 4046, & 4022 Plymouth Sorrento Road (West of Plymouth Sorrento Road &

North of Appy Lane)

PARCEL ID NUMBERS: 13-20-27-0000-00-019; 13-20-27-0000-00-020; 13-20-27-0000-00-021; and

13-20-27-0000-00-058

EXISTING USE: Nurseries, Single Family Homes, and Woodlands

CURRENT ZONING: R-1AAA

PROPOSED

DEVELOPMENT: Single Family Lot Subdivision

PROPOSED ZONING: Mixed Use Interchange Zoning District with Neighborhood Overlay Zone

TRACT SIZES: 20 +/- acres

MAXIMUM ALLOWABLE

DEVELOPMENT: EXISTING: Max. 40 residential units

PROPOSED: Max. 100 residential units

DISTRIBUTION

Mayor Nelson Finance Director Public Services Director Commissioners HR Director Recreation Director

City Administrator IT Director City Clerk
Community Development Director Police Chief Fire Chief

¹ WPIVP – Wekiva Parkway Interchange Vision Plan

<u>ADDITIONAL COMMENTS</u>: The applicant requests a future land use designation of "City" Mixed Use Interchange.

Policy 20.9, Future Land Use Element of the Comprehensive Plan, requires that a Mixed Use Interchange future a land use designation must be assigned to the property.

The subject parcels are located within the one-mile radius from the Wekiva Parkway interchange at Kelly Park Road; and therefore is required to adhere to the Kelly Park Crossing Form Based Code. The properties are located within the Wekiva Parkway Interchange Vision Plan Area. Therefore, the property must comply with Objectives 18 – 20 and related policies within the Future Land Use Element of the Comprehensive Plan and the recently adopted Kelly Park Crossing Form-Based Code. The applicant's request is consistent with the Mixed Use Interchange future land use designation and the Overlay District covering the property within the Vision Plan.

<u>COMPREHENSIVE PLAN COMPLIANCE</u>: The proposed use of the property is compatible with the character of the surrounding area, is within one mile of the SR 429/Kelly Park Road interchange, and is consistent with the Mixed Use Interchange Land Use designation. City planning staff supports the FLUM amendment given the consistency with the Comprehensive Plan policies listed below and the intent of the Wekiva Parkway Interchange Vision Plan a (see Land Use Analysis below). Site development cannot exceed the intensity allowed by the Future Land Use policies.

Future Land Use Element

- 1. **Policy 3.1.r** The primary intent of the Mixed Use land use category is to allow a mixture of residential, office, commercial, industrial, recreation, institutional and public facilities uses to serve the residential and non-residential needs of special areas of the City. The mix of land uses may occur on a single parcel or multiple parcels ...
 - The designation of a mixed use category may occur only in certain areas of the city, including "land anticipated for inclusion within the Wekiva Parkway Interchange Land Use Plan..." These properties are within the 1-mile radius of the Wekiva Parkway Interchange depicted on the Wekiva Parkway Interchange Vision Plan Map located within the Future Land Use Element of the Apopka Comprehensive Plan.
- 2. **Policy 18.1** The City shall implement the Wekiva Parkway Interchange Vision Plan, which guides the location of a range of uses, such as residential, office, commercial, industrial, recreation, public and institutional, at various densities and intensities around the proposed interchange.
 - The proposed Mixed Use Future Land Use Designation allows for residential densities and non-residential uses and intensities to implement the Wekiva Parkway Interchange Vision Plan, consistent with Objective 18 and related policies.
- 3. **Policy 18.2** Prior to rezoning any property within a one-mile radius of the interchange Study Area, the City shall amend its LDC to incorporate development standards that will implement the Vision Plan.
 - This future land use amendment does not include a corresponding proposed zoning category because the City has yet to adopt development standards or form-based code consistent with this policy. Future densities/intensities and design character for the subject properties will be regulated at the time of rezoning once Wekiva Parkway Interchange Vision Plan design standards and form-based code are adopted.

4. **Policy 20.4** Prior to approving the first development plan with the Wekiva Parkway Interchange vision Plan Area, the City shall adopt the Wekiva Parkway Interchange Form-Based Cod establishing the design and development standards for the Wekiva Parkway Interchange Vision Plan Area.

The subject properties will be required to comply with the above policy should the development submit a development plan to ensure consistency with the Comprehensive Plan and Wekiva Parkway Interchange Vision Plan.

5. Policy 20.9 Development within the Wekiva Parkway Interchange Plan Area shall be assigned a Mixed-Use Interchange future land use designation and shall accomplish an overall mix of residential and non-residential uses as outline in Policy 3.1.r. Assignment of the Mixed-Use Interchange Land Use future land use designation shall require an amendment to the Comprehensive Plan.

The applicant's request for a Mixed Use future land use designation is consistent with this policy, as well as the intent of the Wekiva Parkway Interchange Vision Plan area, which intends to concentrate a mixture of land uses with varying densities and intensities within one mile of the Wekiva Parkway Interchange.

- 6. **Policy 20.3.** The annexation, land use change, and subsequent development of lands located within the Wekiva Parkway Interchange Plan Area for Apopka and the Wekiva Interchange Land Use Plan Overlay for the County shall be consistent with the adopted Interlocal Agreement between Orange County and the City of Apopka regarding Wekiva Interchange Land Use Plan Overlay.
- 7. **Objective 19 and 20, and their associated policies.** See objectives and policies within the supporting information.

Transportation Element

1. **Policy 4.2** The City of Apopka shall promote, through the implementation of programs such as mixed-use land development, projects that support reduced travel demand, short trip lengths and balanced trip demand.

The Mixed Use future land use designation allows for a mixture of land use types such as residential and non-residential, which promotes shorter trip lengths, concentrated development to reduce travel demand.

- 2. **Policy 3.1.r** The primary intent of the Mixed Use land use category is to allow a mixture of residential, office, commercial, industrial, recreation, institutional uses and public facilities uses...This mix of land uses may occur on a single parcel or multiple parcels in the form of: a permitted single use; a vertical combination of different permitted uses; or a horizontal mix of different permitted uses.
- 3. **Policy 4.2** The City of Apopka shall promote, through the implementation of programs such as mixed-use land development, projects that support reduced travel demand, shorter trip lengths and balanced trip demand.
- 4. Objective 20 and associated Policies, Future Land Use Element. Provided with the Supporting Information

<u>VISIONING AND SPECIAL STUDIES</u>: The properties are located within the boundaries of the Wekiva Parkway Interchange Vision Plan Area, making it subject to the Kelly Park Crossing Form-Based Code, Mixed- Use Interchange Zoning District and Neighborhood Overlay District. A copy of the Wekiva Parkway Interchange Vision Plan is provided with the support material.

SCHOOL CAPACITY REPORT: An executed capacity enhancement agreement with Orange County Public Schools will be required prior to adoption of the future land use amendment.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on May 10, 2018. Notification has already occurred through the Second Amendment to the Joint Planning Agreement with Orange County government. The second amendment acknowledges that the City will assign a land use designation similar to the overlay district illustrated in the Wekiva Parkway Interchange Vision Plan.

PUBLIC HEARING SCHEDULE:

June 12, 2018 – Planning Commission (5:30 pm) June 20, 2018 – City Council (7:00 pm) - 1st Reading & Transmittal

DULY ADVERTISED:

May 29, 2018 – Public Notice and Notification

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval to transmit a change in Future Land Use to Mixed Use Interchange for the property owned by Min Sun Cho, Hong Sik & Deok Hwa Kim subject to the information and findings in the staff report.

Recommended Motion: Find the Future Land Use Designation consistent with the Comprehensive Plan and recommend a change in Future Land Use Designation to Mixed Use Interchange subject to the information and findings in the staff report for the properties owned by Min Sun Cho, Hong Sik, and Deok Hwa Kim and located at 4068, 4046, & 4022 Plymouth Sorrento Road

Note: This item is considered legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

Direction	Future Land Use	Zoning	Present Use
North (County)	Rural	"County" A-2	Vacant
East (City)	Residential Very Low Suburban	"City" R-1AAA	Plymouth-Sorrento Road\ Oak Ridge Phase 2
South (County)	Rural	"County" A-2	Single Family Homes
West (County)	Rural	"County" A-1	Single Family Homes

II. LAND USE ANALYSIS

Analysis for the Future Land Use Designation was performed as part of the adopted Wekiva Parkway Interchange Vision Plan. This Vision Plan has been incorporated into the Comprehensive Plan. The subject property straddles the one-mile radius from the interchange, and the property owner has selected to pull the entire property into the Kelly Park Crossing Form-Based Code Area (aka Wekiva Parkway Interchange Vision Plan Area).

Therefore, the proposed Mixed Use Interchange future land use designation is consistent with the general future land use character and long-range planning goals of the surrounding area.

Wekiva Parkway Interchange Vision Plan Area: Yes

Wekiva River Protection Area: No Area of Critical State Concern: No

DRI / FQD: No

<u>JPA</u>: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004 and amended the JPA in October 19, 2010 to address the Wekiva Parkway Interchange Vision Plan. The subject property is consistent with the Vision Plan incorporated into Amendment 2 of the Wekiva Parkway Interchange Vision Plan.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and storm water run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2; Objective 19, 20.
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

<u>Karst Features:</u> The Karst Topography Features Map from the Florida Department of Environmental Protection shows that the parcels appear to occur within an area having a potential for karst features.

Analysis of the character of the Property: The current use of the property is for agriculture. Analysis of the FLUM designation occurred as part of the Wekiva Parkway Interchange Vision Plan.

Analysis of the relationship of the amendment to the population projections: Based on the adoption of the JPA, the size of the property, and the proposed land use change, the amendment will increase the

population by as many as 265 residents. The applicant proposes to develop the property as single family residential subdivision. Land use analysis was conducted as part of the Wekiva Parkway Interchange Vision Plan.

CALCULATIONS:

ADOPTED: 40 Unit(s) x 2.659 p/h = 106 persons PROPOSED: 100 Unit(s) x 2.659 p/h = 265 persons

<u>Housing Needs</u>: The housing need is demonstrated through the Wekiva Parkway Interchange Vision Plan Area Study.

Habitat for species listed as endangered, threatened or of special concern: A habitat study is required for developments greater than ten (10) acres in size. At the time the Master Site Plan or Preliminary Development Plan is submitted to the City, the development applicant must conduct a species survey and submit a habitat management plan if any threatened or endangered species are identified within the project site.

<u>Transportation</u>: Road access to the site is from Plymouth Sorrento Road. The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan. The road system shall be consistent with the intent of the Kelly Park Crossing Form-Based Code

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 81 GPD/Capita; 81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

- 2. Projected total demand under existing designation: <u>7,840</u> GPD
- 3. Projected total demand under proposed designation: 19,600 GPD
- 4. Capacity available: <u>Yes</u>
- 5. Projected LOS under existing designation: 81 GPD/Capita
- 6. Projected LOS under proposed designation: 81 GPD/Capita
- 7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 177 GPD/Capita; 177 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

- 2. Projected total demand under existing designation: 8,400 GPD
- 3. Projected total demand under proposed designation: 21,000 GPD

- 4. Capacity available: Yes
- 5. Projected LOS under existing designation: <u>177</u> GPD / Capita
- 6. Projected LOS under proposed designation: 177 GPD / Capita
- 7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
- 8. Parcel located within the reclaimed water service area: Yes

Solid Waste

- 1. Facilities serving the site: <u>City of Apopka</u>
- 2. If the site is not currently served, please indicate the designated service provider: <u>City of Apopka</u>
- 3. Projected LOS under existing designation: <u>424</u> lbs/ day
- 4. Projected LOS under proposed designation: 1,060 lbs / day
- 5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: <u>CUP No. 3217</u>

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 9.353 MGD

Total design capacity of the water treatment plant(s): 33.696 MGD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

- 1. Facilities serving the site: None
- 2. Projected LOS under existing designation: 100 year 24 hour design storm
- 3. Projected LOS under proposed designation: 100 year 24 hour design storm
- 4. Improvement/expansion: On site retention / detention ponds

Recreation

- 1. Facilities serving the site; LOS standard: <u>City of Apopka Parks System</u>; <u>3 acre / 1000 capita</u>
- 2. Projected facility under existing designation: <u>0.318</u> acres
- 3. Projected facility under proposed designation: <u>0.795</u> acres
- 4. Improvement/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.



Min Sun Cho, Hong Sik & Deok Hwa Kim 20 +/- Acres

Proposed Large Scale Future Land Use Amendment:
From: Residential Very Low Suburban
To: Mixed Use Interchange

Parcel ID #: 13-20-27-0000-00-019, 020, 021, 058

VICINITY MAP





Future Land Use Map





ADJACENT ZONING



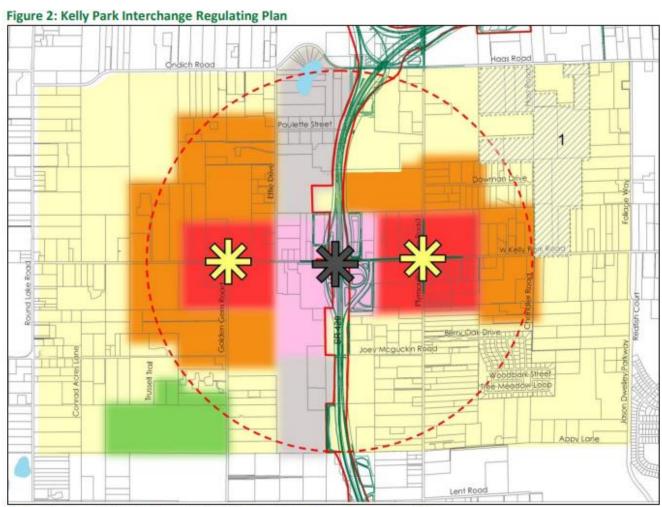


AERIAL MAP





Kelly Park Crossing Form-Based Code Area



Note: City boundaries not depicted in this graphics as they change overtime.

Legend:



construction, whereas larger pipes are constructed from ductile iron. Improvements to the distribution/transmission system have generally followed the recommendations outlined in the most recent master plan, with the timing of specific projects dependent on development patterns. Map 10 shows the extent of the system within the interchange study area.

E. Public Schools

The area is currently served by Wolf Lake and Zellwood elementary schools, Wolf Lake Middle School and Apopka High School. According to the Orange County Public Schools (OCPS), all four schools are projected to be deficient by FY 2011-12. The OCPS current 10-year plan includes a relief elementary school for Wolf Lake and Zellwood, and a relief middle school for Wolf Lake. **Maps 11** to 13 show the attendance zones for these schools.

IV. Community Involvement

In conjunction with the County, the City conducted two public workshops to discuss the future growth around the proposed Wekiva Parkway Interchange. The first public workshop was conducted on February 25, 2010, and the second workshop was conducted on March 25, 2010. **Appendices B and C** contain the workshop summaries and the list of attendees. It should be noted that for the purpose of the Community Workshops an enlarged study area was reviewed, which included the area north of West Ponkan Road.

Additionally, the City held a public hearing before the City of Apopka Planning Commission on April 27, 2010 and the City Council on May 19, 2010.

V. Wekiva Parkway Interchange Vision Plan

The Wekiva Parkway will complete the outer beltway around Metro Orlando area. The completion of this outer ring, along with the proposed interchange, will result in added growth and development pressure within the Wekiva Study Area.

The Interchange Vision Plan was developed with a goal to accommodate new development that: (1) supports regional markets that depend on the Wekiva Parkway's function to move people and goods (light industry and warehousing, hotels/motels, restaurants, gas stations, truck stops, and convenience stores)¹; (2) is designed to complement the surrounding areas; and (3) manages and protects water and wildlife resources.

A. Land Use Vision

Even though the area is currently rural in character and the adopted land use categories for the area reinforce that character, the introduction of a highway interchange at Kelly Park Road will create development pressure in the area. The City, County and most area residents realize a need and have a desire for a plan for that future growth. The main goal of planning for growth is to situate it within an appropriate area around the interchange, and to allow sufficient density

¹ Guidelines for Preparing Comprehensive Plan Amendments for the Wekiva Study Area

and intensity to maximize sustainability and minimize environmental impacts on the Wekiva Study Area. The City also wants to take advantage of the opportunity this location provides to create a setting that will attract new quality employment to the area. The higher densities and intensities expected to accompany the interchange should transition into lower densities/intensities to ensure compatibility with the surrounding areas. Well thought-out, coordinated development is, therefore, a driving element of the interchange land use plan. Coordinated, transitional development at the interchange will protect meaningful tracts of connected open space, and preserve rural land outside of the interchange study area while allowing for carefully planned growth.

As shown on Map 8, potential Karst features are indicated proximate to the proposed interchange. For that reason, the vision plan proposes a measured approach to intensive development in the area immediately adjacent to the interchange, and instead create two nodes of development at the closest intersections to the parkway: Kelly Park Road/Golden Gem Road and Kelly Park Road/Plymouth Sorrento Road (see Map 14). The most dense and intense uses will be located within a 1/3-mile radius of the two proposed nodes. Between these nodes and the one-mile study area boundary, land uses will provide a transition to the existing lower densities, and less intense development character will be respected beyond the one-mile radius.

Map 15 shows the proposed interchange vision plan, which includes both City and unincorporated land. As shown on the map, the area within a 1-mile radius of the proposed interchange is proposed to be urban in character, with uses such as industrial, commercial, office, institutional/public, and medium and high-density residential uses. The highest intensity of use will be clustered around the two nodes as village centers. The area between the nodes and the one-mile radius will contain uses that will ensure the smooth transition to the less intense areas outside the one-mile radius.

The following is a description of the proposed character districts for the vision plan area.

1. Village Center (residential and commercial mix)

As noted above, the vision plan intends to concentrate the most intensive development within the two major intersection nodes. The type of development envisioned for these two nodes includes mixed-use buildings with retail uses on the ground floor and offices or residential spaces above. The Village Center character district will comprise approximately 5 to 15% of the area.

2. Edge Employment (employment uses)

Office uses may appear within the village center nodes as part of mixed-use buildings, or as stand-alone uses in the EdgeEmployment character district along the Wekiva Parkway. Other uses that would be appropriate for the EdgeEmployment area include industrial developments (clean industry), or large institutional uses (hospitals, educational facilities), which would provide much needed jobs in the area. Limited residential

will also be allowed. Both office and industrial uses will benefit from the visibility and access from the highway. Within the EdgeEmployment character district, greater attention will be applied to ensure protection of the potential Karst features and to allow for adequate setbacks from the highway. This area will not focus on the pedestrian environment as the village center, but would adopt a campus-like environment. Approximately 5 to 10% of the area is shown as EdgeEmployment on the vision plan map.

3. Interchange (highway-dependent uses)

The area between the proposed village centers and the parkway will be the most accessible to traffic exiting the highway. Therefore, the intended character for those areas will be a mix between Village Center and a more "suburban" type setting. It is expected that this is the area where gas stations would be located. There will be form-based standards adopted to ensure the transition from the fast-moving traffic in the highway to the more walkable environment expected to develop in the village centers. The Interchange character district will contain predominantly stand-alone uses (as opposed to mixed-use buildings) with less intensity of development than in the Village Center.

Edge Employment character district type uses, including limited high density residential, may also occur in this character district. The area to be dedicated to Interchange uses comprises approximately 5 to 10% of the entire vision plan area.

4. Transitional (office, medium density residential uses)

Uses within the transitional areas will be regulated to minimize the impact of the most intensive areas (Village Center, EdgeEmployment and Interchange) on the existing lower density neighborhoods surrounding the study area. Medium densities in the form of town houses, apartments and condominiums, and office uses will be allowed within the Transitional district. The vision plan shows that approximately 10 to 20% of the total area will be dedicated to the Transitional character district. The expected density in the Transitional character district would accommodate between 5 to 15 dwelling units per acre depending on their location respective to neighborhood areas.

5. Neighborhood (residential)

The Neighborhood character district is intended to be primarily a single-family residential area. This district will have lower density residential than the Transitional district, allowing for a smooth transition into the existing lower density neighborhoods outside the 1-mile radius. The character of the area will be regulated through form-based standards to ensure that single-family homes are designed with front porches and that garages are located in the back with access from alleyways. The neighborhood area comprises over 50% of the vision plan area.

6. Recreation and Institutional

The Vision Plan shows an area as Recreation, consistent with the adopted Northwest Small Area Plan. This, however, does not mean that there will only be one area designated for recreation/open space. As properties develop (especially large tracts), the City will consider dedication of land for open space. Institutional uses (schools, churches, etc.) will also be defined as the area develops. It is anticipated that a minimum of 15% of the land within the area will eventually be used for open space/recreation purposes.

B. Vision Plan Holding Capacity

Based on the land uses and densities proposed in the vision plan, holding capacities were calculated to identify the amount of development that could potentially occur in the area. **Table 3** demonstrates that the vision plan area could accommodate approximately 15,873 residential units and 22,587,535 square feet of non-residential development.

Table 3: Vision Plan Holding Capacity

THOSE OF VISION TIME IT	ording C	apacity	-				
Proposed Land Use	Total Acres	% of Total	Max. Intensity (FAR)	Max. Density (UPA)	Density/ Intensity Factor	Total Dwelling Units	Non- Residential Square Feet
Village Center Core (assumes 1st floor non- resid. + resid above)	80	2.1	0.5	12	0.75	720	1,306,800
Village Center balance (assumes 1st floor non- resid. + resid above)	248	6.4	0.35	12	0.75	2,232	2,835,756
Interchange (assumes 10% residential)	175	4.5	1.0	15	0.70	184	4,811,875
EdgeEmployment (assumes 10% residential)	260	6.7	0.5	7.5	0.60	117	3,052,231
Transitional (assumes 70% resid.; 30% non)	581	14.9	1.0	15	0.85	5,185	6,453,276
Neighborhood (assumes 90% residential)	2,360	60.7	0.5	5	0.70	7,435	3,598,699
Parks/Recreation	121	3.1	0.2		0.50	0	528,897
Wekiva Parkway ROW	63	1.6	and the same of	Sa	CONT. LAND		
TOTAL	3,889	100.0				15,873	22,587,535

Note: Acreages and yields are approximations only.

Based on the total acres of the area and the potential for residential and non-residential development noted above, an *overall* density of 4 du/ac and an *overall* FAR of 0.14 could be achieved.

factors are taken into account, that there is no increase in nitrate/nitrogen loading to groundwater and surface water.

Objective 18

The City shall implement the Wekiva Parkway Interchange Land Use Plan adopted on September 15, 2010, which addresses the requirements of Section 369.321(1) F.S. as it relates to coordinated planning within the Wekiva area.

Policy 18.1

The City shall implement the Wekiva Parkway Interchange Vision Plan, which guides the location of a range of uses, such as residential, office, commercial, industrial, recreation, public and institutional, at various densities and intensities around the proposed interchange.

Policy 18.2

Prior to rezoning any property within a one-mile radius of the interchange Study Area, the City shall amend its LDC to incorporate development standards that will implement the Vision Plan. These standards shall address creative planning solutions to protect environmentally sensitive lands, such as:

Open Space

Standards will be developed for appropriate percentages of open space for single parcels and/or for the entire Interchange Study Area.

Clustering:

Standards will be developed to allow multiple land owners to aggregate parcels for the purpose of calculating density/intensity and developing cohesive clusters of higher density/intensity in the area closest to the interchange and major intersections in the study area.

Transfer of Development Rights (TDR):

A TDR system shall be developed to allow land owners that have sensitive lands or lands farthest from the interchange, to sell density/intensity rights to owners of lands closest to the interchange. The vision plan will analyze the potential sending and receiving areas.

Form-Based Regulations:

Develop form-based regulations for the study area to ensure the Vision Plan is implemented.

Policy 18.3

The development standards within the Interchange Study Area shall be applied through a zoning overlay, or similar method, that encompasses the study area. Developer agreements may be required.

Policy 18.4

If a parcel is severed by the one-mile radius or is under common ownership, either the entire parcel will be included or excluded from the study area based upon the Vision Plan.

Policy 18.5

In the event that the Wekiva Parkway is not constructed, it is anticipated that the Wekiva Parkway Interchange Plan will be reevaluated and appropriate comprehensive plan amendments adopted to address then-existing development and future land use designations within the Wekiva Parkway Interchange Plan Area.

Policy 18.6

Before any development can occur within the Project Orlando LLC site (further identified as parcels 11-20-27-0000-00-003, 11-20-27-0000-00-013, 11-20-27-0000-00-036, 11-20-27-0000-00-0042, 11-20-27-0000-00-057, 12-20-27-0000-00-060, 11-20-27-0000-00-030, 13-20-27-0000-00-023, 13-20-27-0000-00-005, 13-20-27-0000-00-006, 13-20-27-0000-00-005, 13-20-27-0000-00-006, 13-20-27-0000-00-006, 13-20-27-0000-00-006, 13-20-27-0000-00-006, 13-20-27-0000-00-006, 13-20-27-0000-00-006, 13-20-27-0000-00-006, 13-20-27-0000-00-006, 13-20-27-0000-006

Policy 18.7

Public school capacities and facilities serving the Project Orlando site shall be addressed with the rezoning and DRI processes. No increase in density above the vested 67 dwelling units shall be permitted by the City until it is demonstrated that adequate public school facilities are available to meet the increased demand.

Policy 18.8

Prior to the completion of the interchange, but following the official designation of the interchange location by the Expressway Authority, a development program may be permitted by the City which shall not exceed 17,907 average daily vehicle trips external to the Project Orlando project, subject to rezoning and a traffic study.

(Revised - Ord. No. 2317, 10-02-2013)

Policy 18.9

A parcel assigned a land use designation during the 2010-1 or 2010-2 large-scale comprehensive plan amendment cycles, shall not be assigned a city residential zoning category or obtain a rezoning for residential uses until Orange County Public Schools has either issued a finding of school capacity or a school capacity enhancement agreement to the applicable property owner, excepting those parcels having a diminimus impact on public schools as defined in the Interlocal Agreement for Public School Facility Planning and Implementation of Concurrency.

Objective 19

New development in the City shall comply with "Smart Growth" principles that minimize the emission of greenhouse gases and reduce vehicle miles of travel as opposed to conventional development standards that encourage urban sprawl. The following policies shall be incorporated into the City's LDC prior to the next required Evaluation and Appraisal Report.

Policy 19.1

Development in the mixed-use categories, and where appropriate in other land use categories, shall provide pedestrian-friendly street design.

Policy 19.2

New development, as well as infill development where feasible, shall provide interconnected street grid networks to disperse traffic and encourage walkability. Developments may include a hierarchy of narrow streets, boulevards and alleys; high-quality pedestrian networks; designs that encourage a greater use of bicycles, rollerblades, scooters and walking as daily transportation; connectivity to public transit; and a land use mix that demonstrates reduced external trips by encouraging internal trips.

Policy 19.3

New infill development in the mixed-use categories shall provide shops, offices and homes within neighborhoods, including mixed uses in one structure, to offer opportunities to encourage walking and/or live and work environments.

Objective 20

Ensure development within the City of Apopka surrounding the Wekiva Parkway interchange will occur in a predictable, yet flexible manner consistent with the intent of the Wekiva Parkway and Protection Act, the community vision, and the City's economic development goals, and which will provide a balanced land use scenario that can accommodate economic and residential growth in the context of the environmental concerns identified within the Wekiva Parkway and Protection Act, and that can serve as the primary targeted area for greenfield development within the Wekiva Study Area.

Policy 20.1

The Wekiva Parkway Interchange Plan is composed of three elements: the Wekiva Parkway Interchange Vision Plan, the Wekiva Parkway Interchange Land Use Plan, and the Wekiva Parkway Interchange Goal, Objectives, and Policies. The Wekiva Parkway Interchange Vision Plan, adopted as part of the Future Land Use Overlay Series found in Appendix 1-2 of the Future Land Use Element, represents a conceptual scenario that demonstrates the intent of the Wekiva Parkway Interchange Plan and will guide the development of lands located within the Wekiva Parkway Interchange Vision Plan The Wekiva Parkway Interchange Land Use Plan and the Wekiva Parkway Interchange Goal, Objectives, and Policies shall represent the regulatory elements of the Wekiva Parkway Interchange Plan. The land use configuration and distribution demonstrated on the Wekiva Parkway Interchange Vision Plan are intended to illustrate the potential application of the adopted Wekiva Parkway Interchange Vision Plan policies; however, the specific details for each development phase will be established through the approval of development plans consistent with the Wekiva Parkway Interchange Goal, Objectives & Policies, the Wekiva Parkway Interchange Land Use Plan, and the regulations established in the Wekiva Parkway Interchange Form-Based Code.

The Wekiva Parkway Interchange Vision Plan shall be applicable within Wekiva Parkway Interchange Vision Plan Area. The Wekiva Parkway Interchange Vision Plan Area is generally comprised of a one-mile radius emanating from the anticipated Wekiva Parkway Interchange. The exact configuration is based upon a logical, parcel-specific boundary consistent with the intent of capturing a one-mile radius.

Policy 20.3

The annexation, land use change, and subsequent development of lands located within the Wekiva Parkway Interchange Plan Area for Apopka and the Wekiva Interchange Land use Plan Overlay for the County shall be consistent with the adopted Interlocal Agreement between Orange County and the City of Apopka regarding Wekiva Interchange Land Use Plan Overlay.

Policy 20.4

Prior to approving the first development plan within the Wekiva Parkway Interchange Vision Plan Area, the City shall adopt the Wekiva Parkway Interchange Form-Based Code establishing the design and development standards for the Wekiva Parkway Interchange Vision Plan Area. The Wekiva Parkway Interchange Form-Based Code shall be based on the criteria contained within the Wekiva Parkway Interchange Goal, Objectives, and Policies.

Policy 20.5

The Wekiva Parkway Interchange Vision Plan identifies the approximate location of the character districts necessary to support the anticipated development program within the Wekiva Parkway Interchange Vision Plan Area. The location and/or boundaries of the character districts shown on the Vision Plan are illustrative only, and it is the intent of the City that locations and boundaries can be refined through an administrative review, except where other review and approval procedures are specified, in either the Comprehensive Plan or the Wekiva Parkway Interchange Form-Based Code. The specific boundaries and locations of character districts will be established through the approval of development plans, as established through the Wekiva Parkway Interchange Form-Based Code procedures.

Deviations in the area-wide densities and/or intensities established in the Wekiva Parkway Interchange Land Use Plan, or proposed design elements that are not consistent with the Wekiva Parkway Interchange Goal, Objectives, and Policies shall require a comprehensive plan amendment.

Policy 20.7

The Wekiva Parkway Interchange Form-Based Code shall include regulations governing the following community design elements for the Wekiva Parkway Interchange Plan area:

- An interconnected network of streets and paths designed to encourage pedestrian and bicycle travel, with traffic calming where appropriate;
- A complementary mix of land uses, including residential, employment, recreational, and civic;
- Appropriate densities and intensities of land uses within walking distance of transit stops; and
- Daily activities within walking distance of residences, public uses, streets and open spaces that are safe, comfortable and attractive for the pedestrian, with adjoining buildings open to the street and parking designed so as not to interfere with pedestrian and bicycle travel.

Policy 20.8

The Wekiva Parkway Interchange Form-Based Code shall include provisions requiring that the land uses incorporated into the Wekiva Interchange Vision and Land Use Plans are physically and functionally integrated, including a connected and continuous system of pedestrian facilities.

Policy 20.9

Development within the Wekiva Parkway Interchange Plan Area shall be assigned a Mixed-Use Interchange future land use designation and shall accomplish an overall mix of residential and non-residential uses as outlined in Policy 3.1.r. Assignment of the Mixed-Use Interchange Land Use future land use designation shall require an amendment to the Comprehensive Plan. This policy shall not be construed to remove any existing entitlements upon property within the Wekiva Parkway Interchange Plan Area, nor shall it prevent

development consistent with the existing future land use designations. Development occurring under the existing future land use designations shall comply with the design criteria included in the Wekiva Parkway Interchange Plan to the extent that the criteria does not conflict with the existing future land use designation.

Policy 20.10

The City shall ensure that areas of greatest density and intensity within the Wekiva Parkway Interchange Plan Area are located at and between the two major intersection nodes at Kelly Park Road/Golden Gem Road and Kelly Park Road/Plymouth-Sorrento Road, but not upon areas of Karst formations. The Wekiva Interchange Form-Based Code shall require a mix of uses consistent with Wekiva Interchange Plan and shall establish a system of transfer of development rights to encourage increased density and intensity within Wekiva Parkway Interchange Plan Area. Development at the outer edges of the mixed-use area shall maintain compatibility with the lands adjacent to the Wekiva Interchange Plan Area by reducing density and intensity or by providing substantial buffers, landscaping, height, and lighting controls. The City shall also allow transfer of development rights to maintain 20% open space in the overall Study Area. Densities and intensities allowed within the Wekiva Parkway Interchange Plan Area character districts shall be as shown on Table 20.10:

Table 20.10: Wekiva Parkway Interchange Character District Standards

		Minimum/	Density		
Character District/		Maximum	(Units per	Intensity	Open Space
	Uses	Acreage*	Acre)	(FAR)	(min.)
Village Center (VC)	Residential,	Min: 200	Min: 7.5	VC Core:	10% minimum in
Safe, vibrant and	retail,	Max: 380	Max: 25	Min: 0.3	
	commercial,	(40 acres	District	Max: 1.0	public plazas
	office and	max. of	Average: 12	Average:	and small park
	entertainment	VC Core) 5 1	spaces that
include a Core of up	uses.	in each		Ralance of	are urban in
to 40 acres each.	Horizontal mixed-	village)		VC.	character.
	uses shall be				
	allowed, but			27.0 : utw	
-	vertically mixed-			Max: U./	
	uses are			Average: 0.35	
Interchange	Highway-oriented	Min: 175	Min: 7 5	Min. 0 1	15% m:m:m:m
Accommodate highway-	uses, such as	α	- <u>-</u>		form of
oriented vehicular	antomobile			MGX: TO	CIIE LOLIII OL
ברת מסמו סבועיסמ	Aprwige & energine				nerdinornood
70410A	7010 8 10 VALL 1				parks and
Detween the fast	rocarr, Orrroo, ard limited bigb				common areas
traffic exiting the	U				
and the	7 (1) (1) (1) (1) (1) (1) (1) (1) (1) (1)				
Dedestrian Village	- - - - - - - - - - - - - - - - - - -				
Center.					
Employment (formerly	Office,	Min: 190	Min: 4	Min. 0	arimimin \$00
Edge District)	hospitality,	m	7	· C	the form of
Accommodate corporate	clean industry,				larde parks
office development and	large				and
foster the development	institutional				interconnected
of a campus-like	uses (hospitals,				wildlife
corporate park.	educational				corridors.
	facilities), and				
	rg.				
	residential,				

		Minimum/	Density		
Character District/	,	Maximum	(Units per	Intensity	Open Space
Purpose	Uses	Acreage*	Acre)	(FAR)	(min.)
Transition	Single family	Min: 380	Min: 5	Min: 0.5	15% minimin in
Provide a transition	home and single	Max: 770	Max: 15	Max. 1	the form of
between the high-	or multi-use)) · · · · · · · · · · · · · · · · · · ·	nejahborbood
density/intensity	office/medium-				nerginosu narks and
Village Core and the	density				Tarico and
low-density/ intensity	residential				אלייייי אליייי
areas at the edge of					מדר ממט.
the study area.					
Neighborhood	Single-family	Min:	Min:	Min: 05	n; m:m;n;m %00
Preserve the existing	homes and small	2,360	Max:		the form of
low-density single-	scale support	Max:			Jarge 5arks
family residential	uses (schools,	3.060			ווי ל היוי ל היויי
neighborhoods and	churches, day				17467777767
transition to the less	care facilities)				HIICCIT (CCCCC
intense uses just					7
outside the study					•
area.					

* Calculated based on the entire vision plan area acreage.

Maximum allowable development within the Wekiva Parkway Interchange Plan Area shall be allocated among land uses as follows:

Single Family: 7,500 units Multi Family: 8,500 units

Commercial/Services: 22 million square feet

Policy 20.12

The character district regulations included in the Form-Based Code will ensure densities and intensities are allocated as noted in **Table 20.10** (see **Policy 20.10**). The TDR system will allow increased densities in the Core area (noted as bonus density on the table). The average density/intensity for individual districts and the entire mixed-use area shall not exceed the average allowed. The City shall establish a tracking system to ensure the densities/intensities are kept within the established limits. The tracker will also ensure the acreages of the character districts remain within the parameters set in **Policy 20.10**.

Policy 20.13

Development within the Wekiva Parkway Interchange Vision Plan Area shall be planned in a manner that maximizes internal circulation and does not cause the Florida Strategic Intermodal System (SIS) to exceed its adopted Level of Service Standard without appropriate mitigation.

Policy 20.14

The Wekiva Parkway Interchange Vision Plan Area shall include the following performance targets for transit, bicycle and pedestrian facilities as follows:

- 80% of all the bicycle and pedestrian facilities within the Plan Area shall function at LOS C or better;
- All parcels within ¼ mile of a transit stop should be serviced by pedestrian facilities operating at LOS C or better.

LOS standards shall be measured in accordance with the methodology established in the FDOT Multimodal

Transportation Districts and Area wide Quality of Service Handbook (Nov. 2003 or as revised). The City shall coordinate with LYNX and METROPLAN ORLANDO to apply the transit quality of service framework as found in the most recent edition of the Transit Capacity and Quality of Service Manual (TCQSM) and required as part of METROPLAN ORLANDO'S long-range transportation plan where feasible.

Policy 20.15

The City and applicants for development within the Wekiva Parkway Interchange Vision Plan Area shall incorporate transportation demand management strategies into the transportation planning process to alleviate congestion. A range of techniques will be considered, such as vanpool/ridesharing programs, parking management and pricing, transit vouchers, pre-tax incentives, telecommuting, flextime, and/or other appropriate trip reduction strategies.

Policy 20.16

Proposed development within the Wekiva Parkway Interchange Vision Plan Area shall contribute to providing a safe, convenient, comfortable and aesthetically pleasing transportation environment that promotes walking, cycling, and transit use. Appropriate improvements or enhancements to the multimodal network to incorporate into the Wekiva Parkway Interchange Form-Based Code shall include, but not be limited, to the following:

- Accommodations for pedestrian access and movement, including sidewalks, benches and clearly marked crossings;
- Accommodations for bicycles, including lockers, showers, and racks;
- Shared use paths in accordance with the FDOT Bicycle Facilities Planning and Design Guidelines Handbook;
- Accommodations for transfer of passengers at designated transit facilities;
- Preferential parking for rideshare participants;
- Access for motor vehicle passenger drop-offs and pick-ups at designated transit facilities and at commercial and office development sites; and/or
- Accommodation for the mobility impaired, including parking spaces, sidewalks and ramps for handicapped access.

Street cross-sections, design standards, and operational measures to ensure streets are safe and convenient for transit, automobile, truck, bicycle and pedestrian travel shall be incorporated into the Wekiva Parkway Interchange Form-Based Code. Strategies will include, but not be limited, to marked crosswalks, wider sidewalks, on-street parking, bus turnouts, traffic calming, raised medians or other appropriate safety enhancements that reduce hazardous conflicts between modes and that are consistent with the planned functions of the roadway.

Policy 20.18

The Wekiva Parkway Interchange Form-Based Code shall include standards for street intersections to facilitate pedestrian crossings.

Policy 20.19

Developments within the Wekiva Parkway Interchange Plan Area shall provide direct bicycle and pedestrian connections within and between residential areas and supporting community facilities and services, such as shopping areas, employment centers, transit stops, neighborhood parks, and schools. Standards and design criteria shall be established within the Wekiva Parkway Interchange Form-Based Code.

Policy 20.20

The City will include in the Wekiva Parkway Interchange Form-Based Code standards for roadways to be built/improved within the Wekiva Parkway Interchange Overlay District. The regulations will create a hierarchy of streets that equitably serve the needs of the pedestrian, the bicycle, public transit, and the automobile based on a grid network system of roadways. The City will support a multi-modal transportation environment that allows for various transit options.

Policy 20.21

Properties assigned the Mixed-Use Interchange future land use designation shall be rezoned to the Wekiva Parkway Interchange Mixed-Use Zoning District to be established in the Wekiva Parkway Interchange Form-Based Code.

The Wekiva Parkway Interchange Mixed-Use Zoning District shall establish a range of allowable lot types to ensure a mix of uses. The District shall also provide the form-based building requirements and range of allowable uses for each lot type. The lot type ranges will establish the development framework and pattern within which uses can locate.

Policy 20.23

Permitted land uses within the Wekiva Parkway Interchange Mixed-Use Zoning District shall be outlined in the Wekiva Parkway Interchange Form-Based Code, consistent with the Mixed-Use Interchange future land use designation and **Policy 20.10**. The Community Development Director shall have the authority to approve uses not listed there if the proposed use is compatible with the listed permitted uses and/or will generate or support the development of employment opportunities and/or an increased tax base.

Policy 20.24

Where feasible, developments within the Wekiva Parkway Interchange Plan Area shall maximize the preservation of open space and promote the clustering of uses to both preserve and enhance the natural environment and to maintain the rural character of areas outside of the Wekiva Parkway Interchange Plan Area. The amount of required open space shall vary by district, with the more intensive districts requiring less than 20% for urban plazas/ parks and the less intensive districts requiring more than 20% for passive/active parks and open space for areas. Policy 20.10 establishes the minimum required open space per district.

Policy 20.25

The Wekiva Parkway Interchange Area Form-Based Code shall include the following provisions to promote efficient access to and through the area, and to protect the traffic flow along the Wekiva Parkway.

- Prohibit the vacation of rights-of-way to maintain the current grid system and facilitate its expansion;
- Require, as part of development approval, a spacing of 300 to 600 feet for local streets to create walkable

- "city" blocks and maintain connectivity in the area and avoid the use of the highway for local traffic;
- Prohibit the use of cul-de-sacs and gated neighborhoods;
- Coordinate with the Expressway Authority to encourage the extension of local roads under the highway to maintain connectivity between the east and west sides;
- Limit the number of driveways along Kelly Park Road, Golden Gem and Plymouth Sorrento Road within the Plan Area, and encourage the use of shared driveways instead;
- Require compliance with Section 6.02.10 of the LDC, which requires a minimum distance separation between driveways and intersections;
- Require internal connectivity between sites, through joint-use driveways or alleys, to keep traffic off main roads;
- The Form-Based Code shall include standards for right-ofway width and cross section design based on street typology; and
- Provide pedestrian/bicycle connections at a maximum separation of 350 feet, through the use of mid-block paths or pedestrian shortcuts.

Large developments with 50,000 gross square feet or more and are adjacent to a major street, which is or may be used as a transit route, shall provide access for on-site public transit. The public transit stop shall including a bus pullout and shelter.

Policy 20.27

The City shall coordinate with developers the design and construction of proposed new streets within the plan area in conformance with the design standards contained in the Form-Based code. The following standards shall be followed:

- Specific right-of-way location of streets other than those shown on Map 20 of the ILUP shall be determined through the development review process.
- Continue enforcing Section 6.02.05 of the City's LDC (rights-of-way), which contains measures for the protection and use of rights-of-way, and consider the incorporation of more pedestrian-friendly standards in the Wekiva area form-based code.

Sites within the Wekiva Parkway Interchange Plan Area, as well as right-of-way areas, shall be subject to the vegetation protection and water conservation landscaping policies contained in the City's comprehensive plan. The City will include more restrictive vegetation protection standards in the Wekiva Parkway Interchange Form-Based Code to:

- Encourage transplanting and re-vegetation.
- Coordinate, on an as needed basis, with Orange County to update regulations for the protection of unique vegetative communities in both jurisdictions.
- Select and locate plants based on their ultimate growth.

Policy 20.29

In order to ensure that development within the mixed-use district creates a sense of community, the placement and orientation of buildings should be carefully planned. The following standards should be included in the form-based regulations:

- Primary building entrances shall orient toward the street, not to interior blocks or parking lots
- Freestanding single-use buildings should be avoided in all but the neighborhood character district, while mixed and interconnected buildings should be encouraged.
- Green areas or plazas may be used to create a prominent civic component to mixed-use areas. These green areas should be centrally located or placed in between the higher intensity uses.
- Standards for the design of gas stations, and other vehicular service uses, to ensure they fit into the desired pedestrian character. The Code will specify standards for building location, site layout, driveway location, signage and other design elements that will ensure compatibility with other proposed uses in the area.
- Building height regulations shall be established not to exceed the parameters listed for each character district in **Policy 20.30**.

Building heights shall be arranged so that the tallest buildings are located in proximity to the Kelly Park Interchange and Kelly Park Road itself between the two Village Center nodes. Building heights shall be stepped down/ reduced as development approaches the periphery of the Interchange Study Area and as development nears the rural lands outside the study area. The form-based code shall establish appropriate building heights for each character district and shall address reduced building heights in proximity to the edges of character districts and the study area itself in order to promote compatibility between districts and protection of the rural character of lands outside the study area. In no case shall building height exceed ten occupied floors within the Interchange Study Area without a Comprehensive Plan amendment.

Policy 20.31

The Wekiva Parkway Interchange Form-Based Code shall include standards for signage within the Wekiva Parkway Interchange Plan Area and shall have the purpose to maintain a pedestrian character within the village centers, but at the same time, allow visibility from the highway. Standards shall at minimum:

- Continue to require a sign master plan for all Mixed Use Developments, per LDC Section 2.02.20
- Ground signs shall not be allowed in the Core Area if buildings are located within 15 feet from the street right of way.
- Ground signs shall not exceed a maximum height of 12 feet. This maximum height may be further reduced in certain character districts.
- No billboards shall be allowed within the Wekiva Parkway Interchange Plan Area
- Building signs shall be designed to complement the architecture rather than obscure it.

Revised 9-7-10

SECOND AMENDMENT TO JOINT PLANNING AREA AGREEMENT BETWEEN ORANGE COUNTY AND THE CITY OF APOPKA

THIS SECOND AMENDMENT TO JOINT PLANNING AREA AGREEMENT (Amendment) is made and entered into as of the _____ day of OCT 1 9 2010 ____, 2010, by and between ORANGE COUNTY, FLORIDA, a political subdivision of the State of Florida (the County), and the CITY OF APOPKA, a Florida municipal corporation (the City).

RECITALS

WHEREAS, the Wekiva Parkway and Protection Act was enacted by the Florida Legislature in 2004, was amended in 2005, and is currently found at Part III, Chapter 369, Florida Statutes (specifically sections 369.314 – 369.324, Florida Statutes); and

WHEREAS, the Act requires those local governments hosting an interchange on the Wekiva Parkway to adopt amendments to their comprehensive plans within one year after the establishment of an interchange location to address issues relating to appropriate land uses, compatible development, secondary road access, access management, right of way protection, vegetation protection, water conserving landscape, and height and appearance of structures and signage; and

WHEREAS, the County and the City entered into a certain Settlement Interlocal Agreement between the City of Apopka and Orange County Florida, approved October 26, 2004, amended August 2, 2005 and on (insert this date) (hereafter "JPA"); and

WHEREAS, in the JPA the parties agreed, among other things, on a joint planning area boundary, a joint land use map, and the framework for establishing standards and requirements for the Wekiva Parkway interchange area; and

WHEREAS, the County and the City will share jurisdictional authority over the area within the Wekiva Parkway interchange and wish to commit to certain goals and objectives for that area in a separate Interlocal Agreement; and

WHEREAS, lands depicted within a one mile radius from the approved Wekiva Parkway interchange are included in this area and constitute the Study Area Boundary; and

WHEREAS, in order to accomplish the objectives of the Act and the Interlocal Agreement for the Study Area Boundary, the County and the City have determined that certain provisions of

the JPA, including Exhibit F as it pertains to the Study Area Boundary, are outdated or will become outdated by the adoption the Interlocal Agreement; and

WHEREAS, both the County and the City desire to amend the existing JPA to ensure consistency between the JPA and the Interlocal Agreement for the area described as the Study Area Boundary; and

WHEREAS, pursuant to Section 163.3171(3), Florida Statutes, this Amendment has been approved by the Orange County Board of County Commissioners and the Apopka City Council at advertised public hearings.

NOW THEREFORE, in consideration of the covenants made by each party to the other and of the mutual advantages to be realized by the parties hereto, the receipt and sufficiency of which is hereby acknowledged, the County and the City hereby agree as follows:

Section 1. Recitals. The above Recitals are true and correct and are incorporated herein by reference.

Section 2. <u>Authority.</u> This Amendment is entered into pursuant to (1) Chapters 125, 163 and 166, Florida Statutes, (2) the general authority of Section 163.01, Florida Statutes, relating to interlocal agreements, (3) the Charters of the County and City, and (4) the Joint Planning Area Agreement.

Section 3. Map Amendment.

"Exhibit F" to the JPA is hereby deleted and replaced with a new "Exhibit F", which is attached hereto and incorporated herein by reference. For purposes of interpreting the JPA, the parties agree that the area described in "Exhibit F" is unaffected by this amendment except as to the Study Area Boundary, which is described in "Exhibit F1" hereto and the Interlocal Agreement.

"Exhibit F1", is attached hereto and incorporated herein by reference, and describes the future land uses of those parcels located within the Study Area Boundary and agreed upon by the City and the County and is typified in Exhibit B to the Interlocal Agreement. The parties agree that, as to the parcels located in the Study Area Boundary, to the extent of any conflict between the JPA and the Interlocal Agreement, the Interlocal Agreement will control and shall supersede the JPA unless otherwise indicated in the Interlocal Agreement. (Exhibit "F1" hereto and Exhibit "B" to the Interlocal Agreement are identical exhibits.)

Section 4. <u>Text Amendment.</u> A new paragraph (4) is added to Subsection (c), "Small Area Study Areas" of Section 3, Joint Land Use Plan, to read as follows:

(4) Pursuant to the Interlocal Agreement approved by the parties the parties agree that, as to the parcels located in the Study Area Boundary and as described in "Exhibit F1" to the JPA, the terms of the Interlocal Agreement will control and that the Interlocal Agreement supersedes the JPA to the extent of any conflict between the Interlocal Agreement and the JPA, unless otherwise indicated in the Interlocal Agreement.

Section 5. Except as expressly set forth herein, all other provisions of the JPA, as amended, remain unchanged and in full force and effect.

Section 6. Severability. Should any section, subsection, sentence, clause, phrase or provision of this Amendment is held invalid or unconstitutional by a court of competent jurisdiction such invalidity or unconstitutionality shall not be construed to render the remaining portions of this Amendment invalid or unconstitutional.

Section 7. Effective Date. This Second Amendment to the JPA shall become effective upon the date of approval by the Board of County Commissioners or the date of approval by the City Council, whichever date is later.

IN WITNESS WHEREOF, the County and City have executed this Second Amendment to the JPA on the dates inscribed below.

ORANGE COUNTY, FLORIDA By: Board of County Commissioners

By

Richard T. Crotty

Orange County Mayor

DATE: OCT 1 9 2010

ATTEST: Martha O. Haynie, County Comptroller as Clerk of Board of County Commissioners

By:

Deputy Clerk

Revised 9-7-10

CITY OF APOPKA

y:______ John H. Land, Mayor

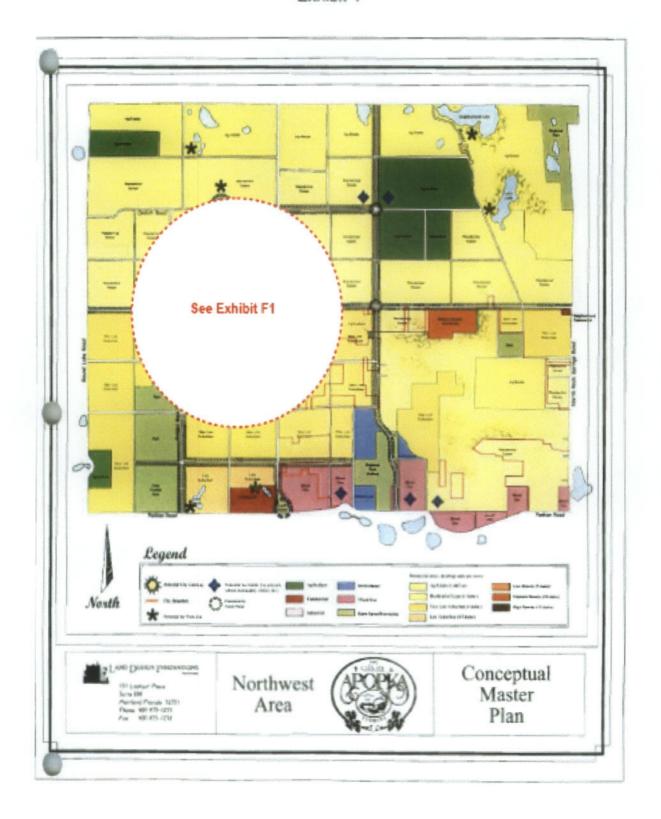
ATTEST: Janice G. Goebel

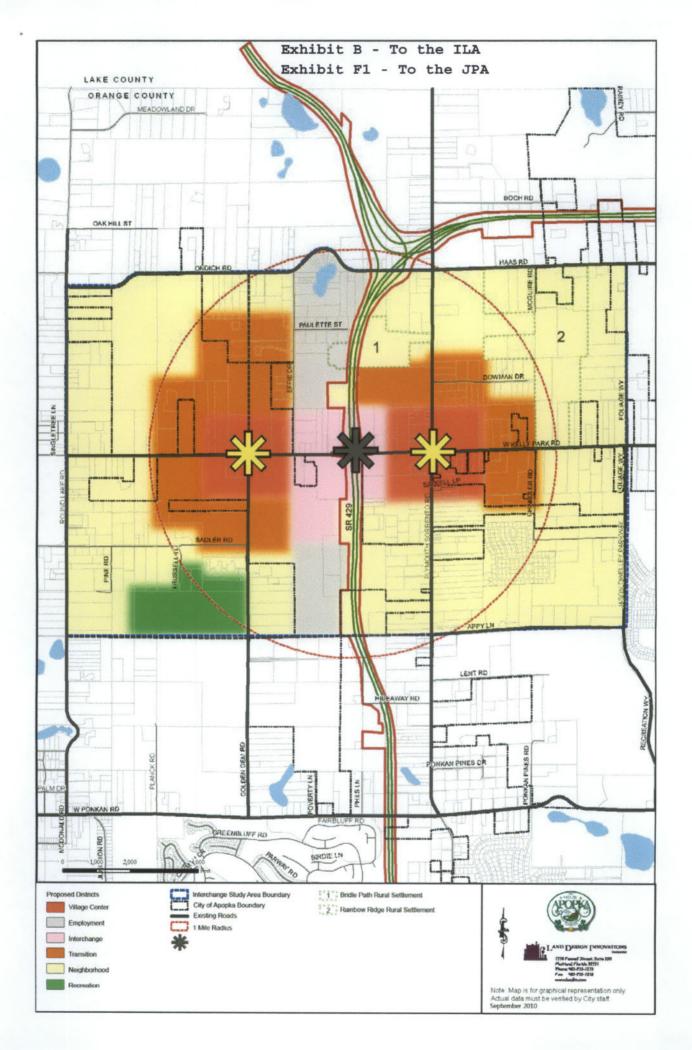
City Clerk

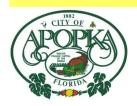
By: January Gaela

S:\Dcrosby\AGRMNT\Apopka\2d amend Apopka JPA D4

Exhibit 'F'







CITY OF APOPKA PLANNING COMMISSION

X PUBLIC HEARING SITE PLAN

SPECIAL REPORTS

OTHER:

MEETING OF: June 12, 2018

FROM: Community Development

EXHIBITS: Land Use Report

Vicinity Map

Future Land Use Map Adjacent Zoning Adjacent Uses

SUBJECT: COMPREHENSIVE PLAN - SMALL SCALE - FUTURE LAND USE

AMENDMENT – 3255 CLARCONA ROAD LLC

REQUEST: RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN – SMALL

SCALE - FUTURE LAND USE AMENDMENT

FROM: AGRICULTURE

TO: INDUSTRIAL (MAX. 0.6 FAR)

SUMMARY:

OWNER: 3255 Clarcona Road LLC (aka Randall Mechanical)

APPLICANT: Vihlen & Associates, P.A. c/o Sidney L Vihlen, III

LOCATION: 3307 Clarcona Road

PARCEL ID NUMBER: 27-21-28-0000-00-045

EXISTING USE: Warehousing (Site used by Randall Mechanical for commercial and industrial uses)

CURRENT ZONING: Agriculture

DEVELOPMENT

POTENTIAL: 1 Dwelling Unit (site currently used for I-1 industrial uses)

PROPOSED ZONING: I-1 (Note: this Future Land Use amendment request is being processed along with a

request to change the zoning classification from Agriculture to I-1 (Restricted

Industrial District)).

TRACT SIZE: 4.75 +/- acres

MAXIMUM ALLOWABLE

DEVELOPMENT: EXISTING: 1 Dwelling Unit

PROPOSED: up to 124,146 sq. ft. gross floor area

DISTRIBUTION

Mayor NelsonFinance DirectorPublic Services DirectorCommissionersHR DirectorRecreation Director

City Administrator IT Director City Clerk
Community Development Director Police Chief Fire Chief

PLANNING COMMISSION – JUNE 12, 2018 3255 CLARCONA ROAD LLC - FUTURE LAND USE AMENDMENT PAGE 2

<u>ADDITIONAL COMMENTS</u>: The subject parcel was annexed in the city on February 21, 1996 by Ordinance 918. The applicant requests a future land use designation of Industrial. The site has been used for industrial purposes for several years. Parcels to the north

<u>COMPREHENSIVE PLAN COMPLIANCE</u>: The proposed use of the property is consistent with the Industrial Future Land Use designation. Site development cannot exceed the intensity allowed by the Future Land Use policies. Planning & Zoning staff determines that the below policies support an Industrial FLUM designation at the subject site:

Future Land Use Element, Policy 3.1.1, Industrial

The primary use shall be industrial, intensive commercial, agricultural and business/research parks. Also allowed are public facilities and supporting infrastructure. The use of the Planned Unit Development process shall be encouraged. The maximum floor area ratio shall be .60. Planned Unit Development uses may include:

- (1) All primary uses
- (2) Other uses deemed compatible with and complimentary to the other proposed master planned uses and the surrounding neighborhoods.

SCHOOL CAPACITY REPORT: The proposed Industrial Future Land Use Designation will not generate any additional student population. Therefore, the property is exempt from school capacity enhancement per the School Interlocal Planning Agreement.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on May 10, 2018.

PUBLIC HEARING SCHEDULE:

June 12, 2018 - Planning Commission (5:30 pm) June 20, 2018 - City Council (7:00 pm) - 1st Reading August 1, 2018 - City Council (1:30 pm) - 2nd Reading and Adoption

DULY ADVERTISED:

May 25, 2018 – Public Notice and Notification

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Future Land Use Designation of Industrial for the property owned by 3255 Clarcona Road LLC, and located at 3307 Clarcona Road.

Planning Commission Recommended Motion: Find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, and recommend approval of the change of Future Land Use Designation from Agriculture to Industrial, subject to the findings of the Staff Report, for the property owned by 3255 Clarcona Road LLC, and located at 3307 Clarcona Road.

Note: This item is considered legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

Direction	Future Land Use	Zoning	Present Use
North (City)	"City" Industrial	"City" I-1	Industrial
East (County)	"County" Rural	"County" A-1	Single Family Homes
South (County)	"County" Rural	"County" A-1	Stone Road \ Woodlands and Single Family Home
West (County)	"County" Rural	"County" A-1	West Orange Trail & House of Worship

II. LAND USE ANALYSIS:

The subject property is located on a site that is ideal for Industrial use, which makes the request for Industrial future land use designation consistent with the Comprehensive Plan policies listed above, as well as the general future land use character of the surrounding area.

The subject property is located off a major road, Clarcona Road, with an industrial use to the north.

The proposed Commercial future land use designation is consistent with the general future land use character of the surrounding area.

Wekiva River Protection Area: No Area of Critical State Concern: No

DRI / FQD: No

Transportation: Road access to the site is from Clarcona Road

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

<u>Karst Features:</u> The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are karst features in the vicinity of this property.

<u>Analysis of the character of the Property</u>: The property is developed with a warehouse used by Randall Mechanical for industrial and commercial purposes.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the property is Industrial (Max. 0.60 FAR). Based on the housing element of the City's Comprehensive Plan, this amendment will not increase the City's future population

<u>Housing Needs</u>: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

PLANNING COMMISSION – JUNE 12, 2018 3255 CLARCONA ROAD LLC - FUTURE LAND USE AMENDMENT PAGE 4

<u>Habitat for species listed as endangered, threatened or of special concern</u>: A habitat study is required for developments greater than ten (10) acres in size. This site is already developed and is less than ten acres.

<u>Transportation</u>: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Sanitary Sewer Analysis	NOTE:	Orange	County	V Service A	Area
-------------------------	-------	--------	--------	-------------	-------------

 1 4441114145 541 11115 4114	200 50000000000000000000000000000000000	

If the site is not currently served, please indicate the designated service provider: Orange County

2. Projected total demand under existing designation: GPD

Facilities serving the site: current LOS: and LOS standard:

- 3. Projected total demand under proposed designation: GPD
- 4. Capacity available:
- 5. Projected LOS under existing designation: _GPD/Capita
- 6. Projected LOS under proposed designation: _GPD/Capita
- 7. Improved/expansions already programmed or needed as a result if proposed amendment:

Potable Water Analysis NOTE: Orange County Service Area

1. Facilities serving the site; current LOS; and LOS standard:

If the site is not currently served, please indicate the designated service provider: Orange County

- 2. Projected total demand under existing designation: __GPD
- 3. Projected total demand under proposed designation: __GPD
- 4. Capacity available:
- 5. Projected LOS under existing designation: _GPD / Capita
- 6. Projected LOS under proposed designation: GPD / Capita
- 7. Improved/expansions already programmed or needed as a result of the proposed amendment:
- 8. Parcel located within the reclaimed water service area:

Solid Waste

- 1. Facilities serving the site: City of Apopka
- 2. If the site is not currently served, please indicate the designated service provider: City of Apopka
- 3. Projected LOS under existing designation: 4.0 lbs/ day
- 4. Projected LOS under proposed designation: 248 lbs / day

PLANNING COMMISSION – JUNE 12, 2018 3255 CLARCONA ROAD LLC - FUTURE LAND USE AMENDMENT PAGE 5

5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information NOTE: Orange County Service Area

Water treatment plant permit number:

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): MGD

Total design capacity of the water treatment plant(s): _MGD

Availability of distribution lines to serve the property:

Availability of reuse distribution lines available to serve the property:

Drainage Analysis

- 1. Facilities serving the site: None
- 2. Projected LOS under existing designation: 100 year 24 hour design storm
- 3. Projected LOS under proposed designation: 100 year 24 hour design storm
- 4. Improvement/expansion: On site retention / detention ponds

Recreation Note: The use of the site for industrial or commercial purposes will not impact of affect the City's recreation facilities.

- 1. Facilities serving the site; LOS standard: <u>City of Apopka Parks System</u>; <u>3 acre / 1000</u> capita
- 2. Projected facility under existing designation: 0. 009 acres
- 3. Projected facility under proposed designation: N/A acres
- 4. Improvement/expansions already programmed or needed as a result of the proposed amendment: None

Standards set forth in the City's Land Development Code will require any development plans to provide parkland and recreation facilities and open space for residents residing with the new development.

This initial review does not preclude conformance with concurrency requirements at the time of development approval.



3255 Clarcona Road LLC 4.75 +/- acres

Proposed Small Scale Future Land Use Amendment:

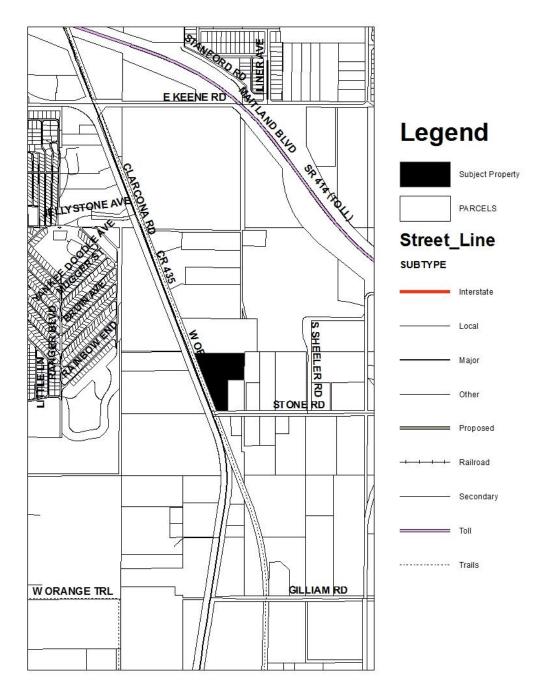
From: Agriculture To: Industrial

Proposed Change of Zoning:

From: Agriculture To: I-1

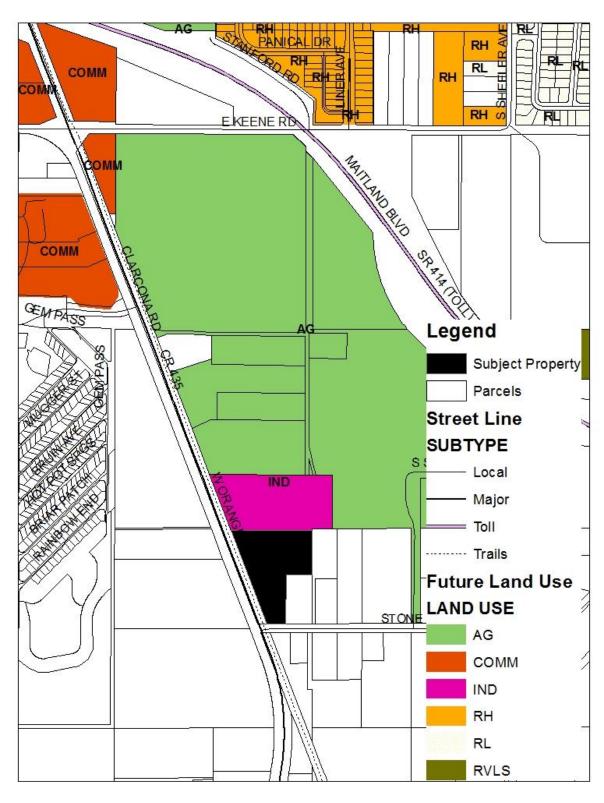
Parcel ID #: 27-21-28-0000-00-045

VICINITY MAP



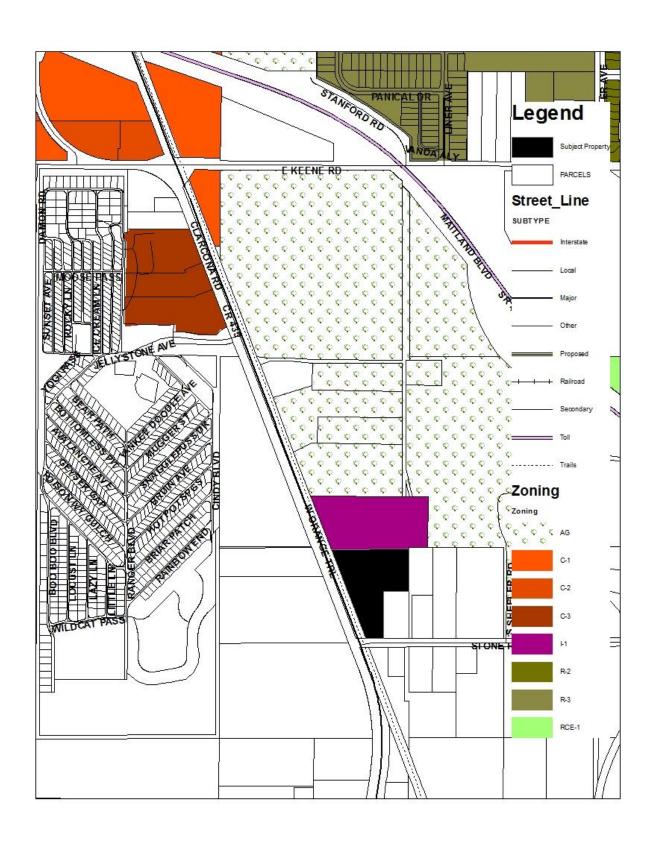


FUTURE LAND USE MAP





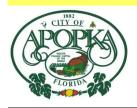
ADJACENT ZONING





AERIAL MAP





CITY OF APOPKA PLANNING COMMISSION

X PUBLIC HEARING SITE PLAN

SPECIAL REPORTS

OTHER:

MEETING OF: June 12, 2018

FROM: Community Development

EXHIBITS: Zoning Report

Vicinity Map Zoning Map Adjacent Uses

SUBJECT: CHANGE OF ZONING – 3255 CLARCONA ROAD LLC

<u>REQUEST:</u> CHANGE OF ZONING – 3255 CLARCONA ROAD LLC

FROM: AG (AGRICULTURE)

TO: I-1 (RESTRICTED INDUSTRIAL)

SUMMARY:

OWNER: 3255 Clarcona Road LLC (aka Randall Mechanical)

APPLICANT: Vihlen & Associates, P.A. c/o Sidney L Vihlen, III

LOCATION: 3307 Clarcona Road

PARCEL ID NUMBER: 27-21-28-0000-00-045

EXISTING USE: Warehousing

CURRENT ZONING: Agriculture

DEVELOPMENT

POTENTIAL: 1 Dwelling Unit (currently used for industrial and commercial uses by Randall

Mechanical)

PROPOSED ZONING: I-1 (Note: this Future Land Use amendment request is being processed along with a

request to change the zoning classification from Agriculture to I-1 (Restricted

Industrial District)).

TRACT SIZE: 4.75 +/- acres

MAXIMUM ALLOWABLE

DEVELOPMENT: EXISTING: 1 Dwelling Unit

PROPOSED: up to 124,146 sq. ft. gross floor area

DISTRIBUTION

Mayor Nelson Finance Director Public Services Director Commissioners HR Director Recreation Director

City Administrator IT Director City Clerk
Community Development Director Police Chief Fire Chief

PLANNING COMMISSION – JUNE 12, 2018 3255 CLARCNA ROAD LLC - REZONING PAGE 2

<u>ADDITIONAL COMMENTS</u>: The subject parcel was annexed in the city on February 21, 1996 by Ordinance 918. The applicant requests a future land use designation of Industrial and the zoning to I-1 Industrial.

A request to assign a change of zoning to I-1 is compatible to the adjacent zoning classifications and with the general character of abutting properties and surrounding area. The change of zoning request is being processed in conjunction with a future land use amendment from Agriculture to Industrial.

<u>COMPREHENSIVE PLAN COMPLIANCE</u>: The existing and proposed use of the property is consistent with the proposed Industrial (Max. FAR 0.6) Future Land Use designation.

SCHOOL CAPACITY REPORT: The proposed zoning change will not generate any residential units and thus not generate any additional school-age population. Therefore, the property is exempt from school capacity enhancement per the School Interlocal Planning Agreement.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on May 10, 2018.

PUBLIC HEARING SCHEDULE:

June 12, 2018 - Planning Commission (5:30 pm) June 20, 2018 - City Council (7:00 pm) - 1st Reading August 1, 2018 - City Council (1:30 pm) - 2nd Reading and Adoption

DULY ADVERTISED:

Public Notice and Notification- May 25, 2018

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from Agriculture to I-1 (Restricted Industrial District) for the property owned by 3255 Clarcona Road LLC, and located east of Clarcona Road and north of Stone Road.

Recommended Motion: Planning Staff recommends finding the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, recommending approval of the proposed Change of Zoning from Agriculture to I-1 (Restricted Industrial District) for the property owned by 3255 Clarcona Road LLC, and located east of Clarcona Road and north of Stone Road.

Note: This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

Direction	Future Land Use	Zoning	Present Use
North (City)	"City" Industrial	"City" I-1	Industrial
East (County)	"County" Rural	"County" A-1	Single Family Homes
South (County)	"County" Rural	"County" A-1	Stone Road\Woodlands and Single Family Home
West (County)	"County" Rural	"County" A-1	West Orange Trail & House of Worship

LAND USE & TRAFFIC COMPATIBILITY:

The property is currently accessed by Clarcona Road.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed I-1 zoning is consistent with the proposed Future Land Use designation, "Industrial" (Max. FAR 0.6) and with the character of the surrounding area and future proposed development. Development Plans shall not exceed the density allowed in the adopted Future Land Use designation.

ALLOWABLE USES:

- 1. Any C-3 Commercial District permitted use.
- 2. Manufacture and processing of novelties, souvenirs, bakery or confectionery products, garments, scientific, electrical, optical and precision instruments or equipment, computers, advanced electronics, lasers and robotics, batteries, boats, building products, ceramics, chemical products, dairy products, electrical machinery and equipment, furniture, decorating materials, upholstering materials, glass and glass products, metal plastic or cardboard containers, paint or varnish, pharmaceutical products, photographic equipment and supplies, shoes and leather goods, signs, textiles, and tires, etc.
- 3. Bus, cab and truck repair.
- 4. Dyeing, dry cleaning and laundering.
- 5. Machinery sales.
- 6. Machine shops.
- 7. Meat storage, cutting and distribution.

- 8. Adult entertainment consistent with the standards of the Apopka Municipal Code.
- 9. Bottling and distribution plants; ice cream manufacturers.
- 10. Warehouses.
- 11. Testing of materials, equipment and products.
- 12. Cold storage and frozen food lockers.
- 13. Frozen food lockers.
- 14. Book binding, lithography and publishing plants.
- 15. Other uses which are similar and compatible to the uses permitted herein which adhere to the intent of the district and which are not prohibited as specified in this Code. Use determination shall be based upon the community development director's recommendation.
- 16. Guard or custodian living quarters may be permitted as an accessory use when attached to one primary structure.

ZONING REGULATIONS:

Minimum Site Area: 15,000 sq. ft.

Minimum Lot Width: 100 ft. Front Setback: 25 ft. Side Setback: 10 ft.

Rear Setback: 10 ft. (30 ft. from residential districts)

Corner Setback: 25 ft.



3255 Clarcona Road LLC 4.75 +/- acres

Proposed Small Scale Future Land Use Amendment:

From: Agriculture To: Industrial

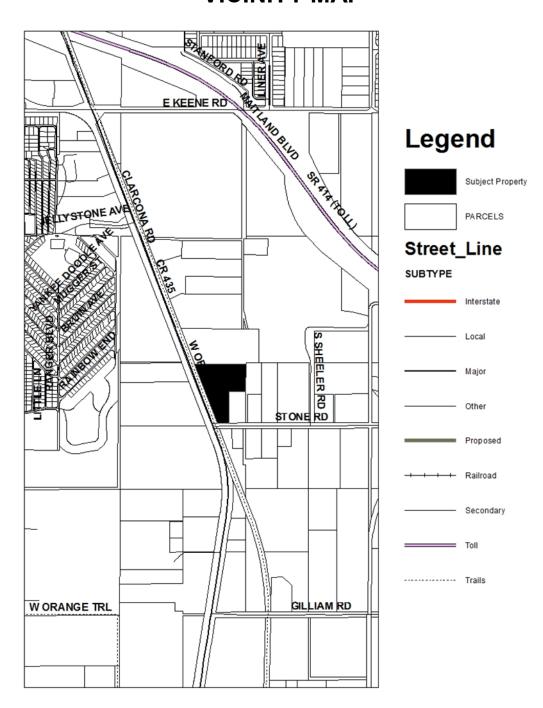
Proposed Change of Zoning:

From: Agriculture

To: I-1

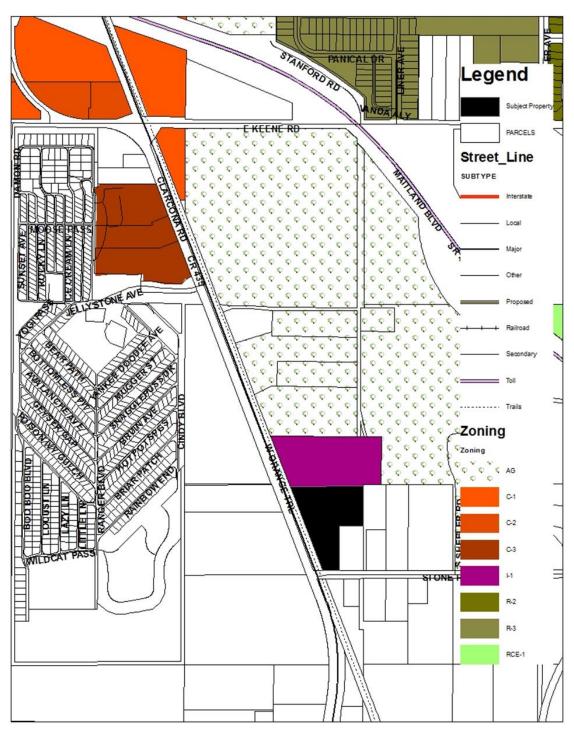
Parcel ID #: 27-21-28-0000-00-045

VICINITY MAP





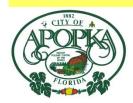
ADJACENT ZONING MAP





ADJACENT USES MAP





CITY OF APOPKA PLANNING COMMISSION

X PUBLIC HEARING SITE PLAN

SPECIAL REPORTS

OTHER:

MEETING OF: June 12, 2018

FROM: Community Development

EXHIBITS: Zoning Report

Vicinity Map Adjacent Zoning Adjacent Uses

SUBJECT: CHANGE OF ZONING – SUNTRUST BANK

REQUEST: RECOMMEND APPROVAL OF THE CHANGE OF ZONING FOR

SUNTRUST BANK

FROM: C-2 (GENERAL COMMERCIAL DISTRICT)
TO: C-1 (COMMERCIAL RETAIL DISTRICT)

SUMMARY

OWNER: SunTrust Bank

APPLICANT: Causseaux, Hewett, and Walpole, Inc.

LOCATION: 936 E Semoran Blvd

PARCEL ID NUMBER: 11-21-28-0750-00-070

EXISTING USE: Vacant

CURRENT ZONING: "City" C-2

FUTURE LAND USE: Commercial

DEVELOPMENT POTENTAIL: 5,304 sq. ft. commercial space

PROPOSED ZONING: "City" C-1

TRACT SIZE: $0.49 \pm - acres$

MAXIMUM ALLOWABLE

DEVELOPMENT UNDER EXISTING: 5,304 sq. ft. commercial space ZONING DISTRICT: PROPOSED: 5,304 sq. ft. commercial space

DISTRIBUTION

Mayor Nelson Finance Director Public Services Director Commissioners HR Director Recreation Director

City Administrator IT Director City Clerk
Community Development Director Police Chief Fire Chief

 $G: \label{lem:comm} G: \label{lem:comm} \label{lem:comm} White \label{lem:comm} G: \label{lem:comm} \label{lem:comm} White \label{lem:comm} White \label{lem:comm} \label{lem:comm} White \label{lem:comm} W$

PLANNING COMMISSION – JUNE 12, 2018 SUNTRUST BANK - REZONING PAGE 2

<u>ADDITIONAL COMMENTS</u>: SunTrust Bank owns three vacant parcels east-adjacent of the bank. The eastern-most adjacent parcel, 920 E. Semoran Boulevard was annexed in the City on April 18, 2018. The City Council is scheduled to vote for a Commercial future land use designation and C-1 zoning for 920 E. Semoran Boulevard on June 6, 2018, which is located two parcels to the east. The three parcels will be assembled for a proposed Zaxzby's restaurant. A utility easement runs across the majority of this property, and the majority of the parcel will likely be used for open space within a future site plan.

A request to assign a change of zoning for 936 E. Semoran Boulevard to C-1 is compatible to the adjacent zoning classifications and with the general character of abutting properties and surrounding area.

<u>COMPREHENSIVE PLAN COMPLIANCE</u>: The existing and proposed use of the property is consistent with the proposed C-1 (Commercial Retail) Future Land Use designation.

SCHOOL CAPACITY REPORT: The proposed future land use change will result in an insignificant increase (less than 9) in the number of residential units which could be developed at the subject property. Therefore, the property is exempt from school capacity enhancement per the School Interlocal Planning Agreement.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on May 10, 2018.

PUBLIC HEARING SCHEDULE:

June 12, 2018 - Planning Commission (5:30 pm) June 20, 2018 - City Council (7:00 pm) - 1st Reading August 1, 2018 - City Council (1:30 pm) - 2nd Reading and Adoption

DULY ADVERTISED:

Public Notice and Notification- May 22, 2018

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from C-2 (General Commercial District) to C-1 (Commercial Retail District) for the property owned by SunTrust Bank, and located at 936 E Semoran Blvd.

Recommended Motion: Planning Staff recommends finding the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas; and recommending approval of the proposed Change of Zoning from C-2 (General Commercial District) to C-1 (Commercial Retail District) for the property owned by SunTrust Bank, and located at 936 E Semoran Blvd.

Note: This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

Direction	Future Land Use	Zoning	Present Use
North (County)	"County" Commercial	"County" C-3	Retail Uses
East (City)	"City" Commercial	"City" C-2	Auto Parts Vendor and Utility Station
South (City)	"City" Commercial	"City" C-2	Vacant
West (City)	Commercial	"City" C-1	Bank and Vacant Lots

LAND USE & TRAFFIC COMPATIBILITY:

The property is currently accessed by East Semoran Blvd.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed C-1 zoning is consistent with the proposed Future Land Use designation, "Commercial" (Max 0.25 FAR) and with the character of the surrounding area and future proposed development. Development Plans shall not exceed the density allowed in the adopted Future Land Use designation.

ALLOWABLE USES:

- 1. Any nonresidential permitted use in the PO/I or CN districts.
- 2. Retail establishments.
- 3. Banks, savings and loan and other financial institutions.
- 4. Bowling alleys, skating rinks, billiard parlors and similar amusement centers, provided such activities and facilities are enclosed within a sound-proof building.
- 5. Churches and schools.
- 6. Day nurseries, kindergartens and other child care centers.
- 7. Drive-in restaurants, with property lines no closer than 200 feet from any residential districts or uses.
- 8. Florist shops, the products of which are displayed and sold wholly within an enclosed building.
- 9. Hotels, motels, bed and breakfast facilities.
- 10. Personal service establishments such as barbershops, beauty parlors, professional and other offices, parking garages and lots, laundry and dry cleaning pickup station, self-service coinoperated laundry and dry cleaning establishments, shoe shine and repair, tailoring, travel services, watch and clock repair and locksmiths, etc.
- 11. Post offices.
- 12. Restaurants.

PLANNING COMMISSION – JUNE 12, 2018 SUNTRUST BANK - REZONING PAGE 4

- 13. Theaters, enclosed in structures.
- 14. Clubs and lodges.
- 15. Funeral parlors, when the sole use of the facility shall be for funeral rites.
- 16. Animal clinics for the treatment of small animals, excluding farm animals, but including those animals no larger than a dog, commonly kept as pets in a residence, provided the care, treatment or housing of such animals shall not be allowed on the outside.
- 17. Other uses which are similar and compatible to the uses permitted herein which adhere to the intent of the district and which are not prohibited as specified in this code. Use determination shall be based upon the community development director's recommendation.

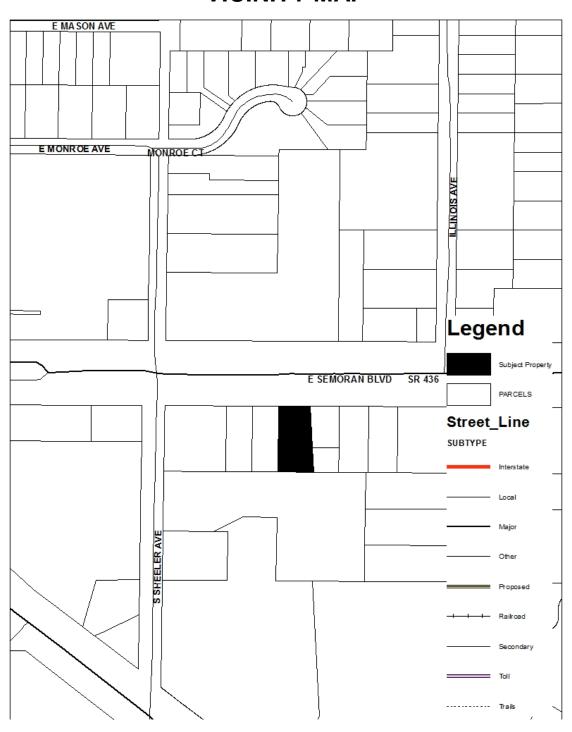


SunTrust Bank 0.49 +/- acres

Proposed Change of Zoning:

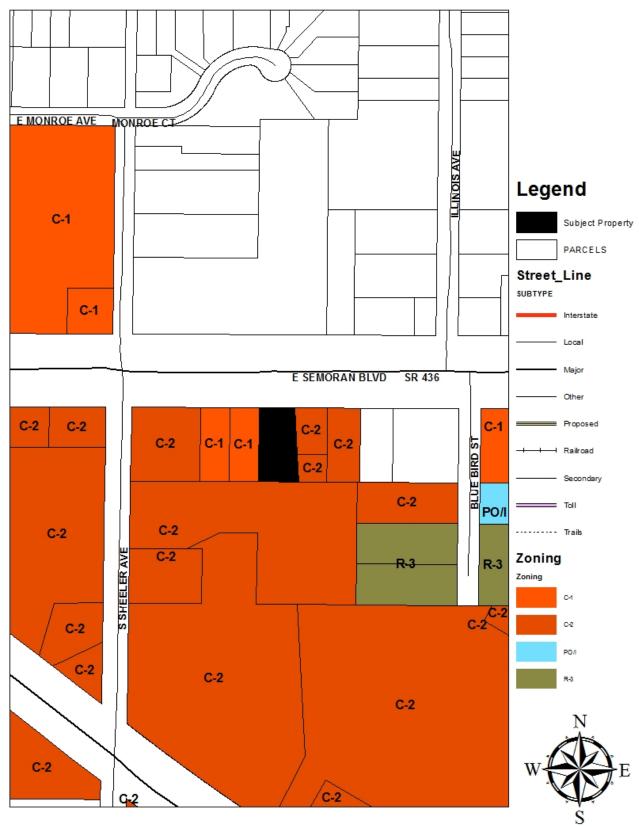
From: C-2 (General Commercial District)
To: C-1 (Retail Commercial District)
Parcel ID #: 11-21-28-0750-00-070

VICINITY MAP



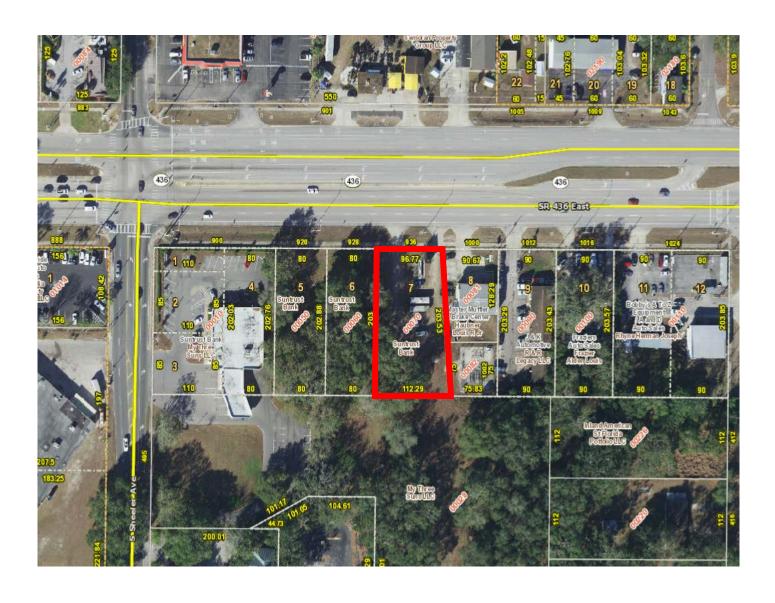


ADJACENT ZONING MAP





AERIAL MAP





CITY OF APOPKA PLANNING COMMISSION

X CONSENT AGENDA
PUBLIC HEARING

SPECIAL REPORTS

X OTHER: PUD Master Plan/PDP

MEETING OF: June 12, 2018

FROM: Community Development

EXHIBITS: Zoning Report

Vicinity Map

Adjacent Zoning Map Adjacent Uses Map Existing Use Map

Ex. A – PUD Master Plan/PDP Ex. B – Architectural Elevations

SUBJECT: CHANGE OF ZONING – PUD MASTER PLAN AND PRELIMINARY

DEVELOPMENT PLAN – VISTA RESERVE

RECOMMEND APPROVAL OF THE CHANGE OF ZONING; AND

APPROVAL OF THE PUD MASTER PLAN FOR VISTA RESERVE FROM: R-1AA (RESIDENTIAL SINGLE FAMILY DISTRICT)

TO: PUD (PLANNED UNIT DEVELOPMENT)

SUMMARY:

OWNERS: Mikhail Wafaa, Abdelsayed George, Abdelsayed Lucy, Abdelsayed

Wafeek

APPLICANT: Pulte Home Corporation

LOCATION: East side of Rogers Road, approximately one half mile north of the

intersection of Rogers Road and Lester Road

PARCEL ID NUMBER: 29-20-28-0000-00-003

EXISTING USE: Vacant

FLUM DESIGNATION: Low Density Residential

CURRENT ZONING: R-1AA (Residential Single Family District)

PROPOSED DEVELOPMENT: 153 single family homes; developed in one phase

PROPOSED ZONING: Planned Unit Development (PUD)

TRACT SIZE: 61.1 +/- acres

DISTRIBUTION

Mayor NelsonFinance DirectorPublic Services DirectorCommissionersHR DirectorRecreation Director

City Administrator IT Director City Clerk
Community Development Director Police Chief Fire Chief

PLANNING COMMISSION – JUNE 12, 2018 VISTA RESERVE – CHANGE OF ZONING PAGE 2

<u>SUMMARY</u>: The subject property is approximately 61.1 acres in size and is zoned R-1AA (Residential Single Family District) and has a future land use designation of Low Density Residential. The subject property is located on the east side of Rogers Road, approximately one half mile north of the intersection of Rogers Road and Lester Road. The proposed change of zoning to PUD (Planned Unit Development) is being requested by the prospective developer, Pulte Homes who proposes to construct 153 single-family units in one phase on the property. The subdivision is proposed to be developed at a density of 2.53 dwelling units per acre. The Low Density Residential future land use designation permits up to 3.5 dwelling units per acre.

PROJECT DESCRIPTION: The Master Plan proposes 153 lots consistent of 140 65-foot wide lots and 13 90-foot wide lots, a community park with a swimming pool and cabana and tot-lot, and a buffer tract along the entire peremiter of the community. Further, is proposed to be accessed via Rogers Road. The surrounding properties consist primarily of single-family residential subdivisions and include the Carriage Hills subdivision located to the south which is currently under construction, Oak Hill Reserve to the south and east, and Wekiva Run to the west. Average lot widths in the Carriage Hills subdivision is 75-feet, Oak Hill Reserve is 95-feet, and 95-feet in Wekiva Run.

A. Lot Size.

Typical Lot Width	Number of units	Percentage of development	Typical lot area (minimum size)
65-feet	140	91.5%	8,125 square feet
90-feet	13	8.5%	11,250 square feet
Total	153	100%	

While a PUD zoning requires a minimum lot width of 70 feet with a minimum lot area of 7,500 sq. ft., Vista Reserve proposes 65-foot and 90-foot wide lots with a minimum average lot area of 8,125 square feet for the 65-foot wide lots and 11,250 square feet for the 90-foot wide lots, contained within an open space tract not less than 15 feet wide on the north, east, and south project lines and 10 feet wide on the western project line abutting Rogers Road. The minimum lot depth is proposed at 125-feet. The minimum living area is proposed at 2,190 square feet. The subdivision will be accessed via Rogers Road. Rogers Road will terminate at the main entrance of the development. The developer will be dedicating a 0.68 acre portion of right-of-way along Rogers Road to the City. The subdivision will consist of public roads and infrastructure that is owned and maintained by the City. Vehicular and pedestrian connections are provided to the property to the north and to the Carriage Hills subdivision located to the south. A continuous open space tract is provided around the perimeter of the subdivision to buffer the homes from the surrounding existing subdivisions. Thirty percent of the site, or 18.13 acres of open space is provided, and will be owned and maintained by the homeowners association. Two tracts located on the northwestern and northeastern corners of the site are reserved for stormwater retention. The stormwater retention areas will be owned and maintained by the homeowners association. A 1.67 acre tract is reserved for the community recreation facility that will be owned and maintained by the homeowners association. Included within the recreation facility is a picnic area, pool, pool cabana building, play structure, open play area, bicycle parking, and a parking area for 8 cars.

B. Deviations. The applicant is requesting one deviation to the City's required development standards. For a PUD Master Plan, a deviation from the City's Land Development Code does not represent a variance but a development standard or zoning condition unique to and approved as part of the Planned Unit

PLANNING COMMISSION – JUNE 12, 2018 VISTA RESERVE – CHANGE OF ZONING PAGE 3

Development zoning. PUD's are required to satisfy the requirements of the Land Development Code unless the City Council finds that, based on substantial evidence, a proposed alternative development guideline is adequate to protect to the public health safety, and welfare. Any deviations must be consistent with the policies of the Comprehensive Plan.

- 1. Typical Lot Width Standard, Land Development Code Section 2.02.18.D.11. requires a minimum lot size within a PUD to be 70-feet in width, and to have a minimum site area of 7,500 square feet. The developer is proposing 140, 65-foot and 13, 90-foot wide lots with minimum lots sizes of 8,125 square feet and 11,250 square feet respectively. These lot sizes exceed the required single-family minimum lot area of 7,500 square feet.
- C. Justification for Deviations/Development Standard. The following justifications are provided for the three deviations that are proposed.
 - 1. Reduced Density. The future land use designation of the property is Low Density Residential which allows up to 3.5 dwelling units per acre. The PUD Master Plan proposes a density of 2.53 dwelling units per acre, which is 0.97 dwelling units per acre less than the maximum density permitted in the Low Density Residential future land use category.
 - 2. Dedication of right-of-way for the extension of Rogers Road. The PUD Master Plan proposes the dedication to the City of a 0.68 acre tract for right-of-way for Rogers Road. This will allow for the future extension of Rogers Road to the north to allow Rogers Road to serve as a future connector road between Ponkan Road and Lester Road.
 - 3. An improved recreation amenities package is proposed. The recreation package will consist of a picnic area, pool, pool cabana building, play structure, open play area, bicycle parking, and a parking area for 8 cars. The recreation area is proposed at 1.67 acres in size, which is in excess of the 1.43 acres required by code.
 - 4. Preservation of Open Space. The PUD master plan provides a continuous open space tract is around the perimeter of the subdivision to buffer the homes from the surrounding existing subdivisions. This area will consist of Bahia sod and Live Oak and Magnolia trees, which upon maturity is anticipated to ensure the homes within the development are not visible from the surrounding existing residential subdivisions.
 - 5. Increased minimum living area size. The applicant is proposing a minimum living area of 2,190 square feet. The R-1AA zoning district requires a minimum living area of 1,700 square feet. Also, the larger lots, the 90-foot width, are located on the eastern project perimeter consistent with lot width and size occurring in the Oak Hill Reserve community abutting to the east.

<u>PUD RECOMMENDATIONS</u>: That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

- A. The uses permitted within the PUD district shall be single-family residential uses.
- B. Terms of Expiration for this PUD shall be as follows:

If a Final Development Plan associated with the PUD district has not been approved by the City within three years, and site development has not commenced within four years after approval of these Master Plan provisions, the approval of the Master Plan provisions will expire. At such time, the City Council may:

- 1. Permit a single six-month extension for submittal of the required Final Development Plan;
- 2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
- 3. Rezone the property to a more appropriate zoning classification.

<u>COMPREHENSIVE PLAN COMPLIANCE</u>: The proposed use of the property is consistent with the Low Density Residential Future Land Use designation and is consistent with the Land Development Code.

SCHOOL CAPACITY REPORT: Per Orange County Public Schools, the project is vested to satisfy capacity, however there are outstanding concurrency issues that will be required to be satisfied prior to approval of a plat.

ORANGE COUNTY NOTIFICATION: Pursuant to Section 7 of the Joint Planning Area agreement, notification to Orange County is not required for a rezoning application as the subject parcels are not adjacent to unincorporated Orange County.

PUBLIC HEARING SCHEDULE:

June 12, 2018 - Planning Commission (5:30 pm) July 18, 2018 - City Council (7:00 pm) - 1st Reading August 1, 2018 - City Council (1:30 pm) - 2nd Reading

DULY ADVERTISED:

June 1, 2018 – Public Notice; Letter, Poster July 20, 2018 – Public Notice (Apopka Chief)

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed rezoning to Planned Unit Development (PUD), PUD Master Plan, and the Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code and recommends approval of the Vista Reserve Planned Unit Development Master Plan and Preliminary Development Plan.

Recommended Motion: Find the proposed amendment consistent with the Comprehensive Plan and recommend approval of the proposed Change of Zoning from R-1AA (Residential Single Family District) to PUD (Planned Unit Development); and approval of the PUD Master Plan/Preliminary Development Plan based on the findings and facts presented in the staff report and exhibits for the property owned by Mikhail Wafaa, George Abdelsayed, Lucy Abdelsayed, and Wafeek Abdelsayed and located east side of Rogers Road, approximately one half mile north of the intersection of Rogers Road and Lester Road.

PLANNING COMMISSION – JUNE 12, 2018 VISTA RESERVE – CHANGE OF ZONING PAGE 5

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

Direction	Future Land Use	Zoning	Present Use
North (City)	Low Density Residential (0-5 du/ac)	R-1AA	Vacant, Lake Merril
East (City)	Low Density Residential (0-5 du/ac)	PUD	Oak Hill Reserve subdivision
South (City)	Low Density Residential (0-5 du/ac)	R-1AA, R-1	Carriage Hills subdivision (under construction), Vacant property
West (City)	Low Density Residential (0-5 du/ac)	R-1AA	Wekiva Run subdivision

LAND USE &

TRAFFIC COMPATIBILITY: The property is accessed via Rogers Road. Internal streets are public

and will be owned and maintained by the City of Apopka. Future land use designations and zoning categories assigned to properties to the

north, south, east, and west are predominantly residential.

COMPREHENSIVE

PLAN COMPLIANCE: The proposed PUD zoning is compatible with policies set forth in the

Comprehensive Plan.

ALLOWABLE

USES: Single-family residential uses as set forth within the Planned Unit

Development Master Plan.

PLANNING COMMISSION – JUNE 12, 2018 VISTA RESERVE - CHANGE OF ZONING PAGE 7

VISTA RESERVE Project:

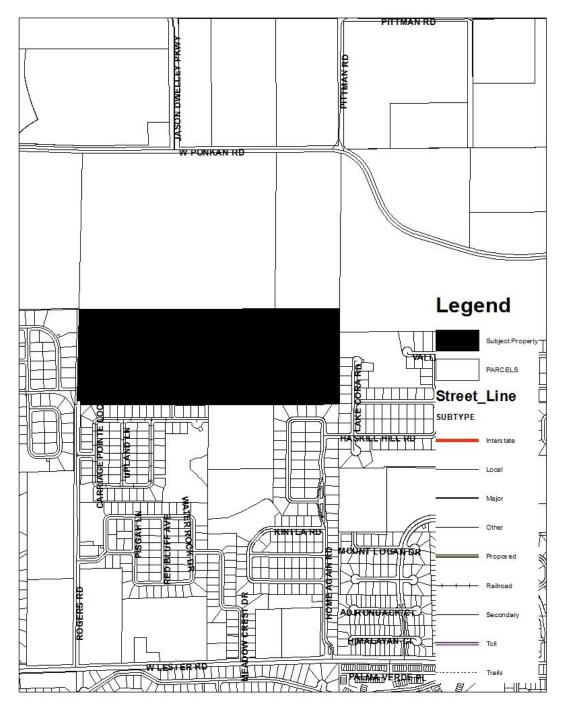
Mikhail Wafaa, Abdelsayed George, Abdelsayed Lucy, Abdelsayed Wafeek East side of Rogers Road, approximately one half mile north of the intersection of Rogers Road and Lester Road Owned by:

Located:

29-20-28-0000-00-003 Parcel ID#:



VICINITY MAP





ADJACENT ZONING





ADJACENT USES



MASTER PLAN / PRELIMINARY DEVELOPMENT PLAN

FOR VISTA RESERVE



PARCELS: 29-20-28-0000-00-003 SECTIONS 29 AND 30, TOWNSHIP 20 SOUTH, RANGE 28 EAST

LEGAL DESCRIPTION:

BEGIN AT THE SOUTHWEST CORNER OF THE NW 1/4 OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; RUN THENCE NORTH ALONG THE WEST LINE OF SAID NW 1/4 A DISTANCE OF 985.01 FEET TO THE NORTH LINE OF THE SOUTH 3/4 OF THE SOUTH 3/4 OF THE SOUTH 3/4; RUN THENCE N883814*E ALONG SAID NORTH LINE A DISTANCE OF 2689,71 FEET TO THE NORTHEAST CORNER OF SAID SOUTH 3/4; RUN THENCE SOU*48'05*E ALONG THE EAST LINE OF SAID NW 1/4 A DISTANCE OF 989,23 FEET TO THE SOUTHEAST CORNER OF SAID NW 1/4; RUN THENCE S8843'55*W ALONG THE SOUTH LINE OF SAID NW 1/4 A DISTANCE OF 2703.46 FEET TO THE SOUTHWEST CORNER THEREOF, AND THE POINT OF BEGINNING. ALL BEING AND LYING IN THE NW 1/4 OF SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COLINTY, FLORIDA.

THE SOUTH 3/4 OF THE SOUTH 1/2 OF THE NW 1/4 OF SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA

INDEX OF SHEETS

COV	COVER SHEET				
3 SHEETS	BOUNDARY, TOPOGRAPHIC, AND TREE SURVEY				
SYM-1	SYMBOLS AND ABBREVIATIONS EXISTING CONDITIONS PLAN				
EC-1					
MP-1	MASTER PLAN				
DD-1	DEVELOPMENT NOTES AND DATA				
SP-1	SUBDIVISION PLAN				
SP-2	SUBDIVISION PLAN				
DP-1	MASTER DRAINAGE PLAN				
DP-2	MASTER DRAINAGE PLAN				
UP-1	MASTER UTILITY PLAN				
UP-2	MASTER UTILITY PLAN				
TS-1	TYPICAL SECTIONS				
FA-1	FIRE ACCESS PLAN				
LP-001	KEY PLAN				
LP-002 TO LP-004	TREE MITIGATION PLAN				
LP-005	RECREATION / OPEN SPACE PLAN A				
LP-100 TO LP-104	LANDSCAPE PLAN				
LP-105	LANDSCAPE NOTES AND DETAILS				
LP-200	HARDSCAPE DETAILS				
LP-201	HARDSCAPE IMAGES				
LP-300 TO LP-304	IRRIGATION PLAN				
LP-305	IRRIGATION NOTES AND DETAILS				
LP-306 TO LP-308	IRRIGATION DETAILS				

501 OLD DIXIE HIGHWAY CITY OF APOPKA, FLORIDA FOR

THE PULTE GROUP

4901 VINELAND ROAD, SUITE 500 ORLANDO, FLORIDA 32811 PHONE: (407) 661-1514



431 E. HORATIO AVENUE, SUITE 260 MAITLAND, FLORIDA 32751 PHONE (407) 629-8330 FAX (407) 629-8336

PROJECT TEAM MEMBERS

ALLEN AND COMPANY, INC. 16 EAST PLANT STREET WINTER GARDEN, FL 34787 PHONE: (407) 654-5355 CONTACT: JIM RICKMAN, PSM

LANDSCAPE ARCHITECT FOSTER, CONANT, & ASSOCIATES 120 WEST ROBINSON STREET ORLANDO, FL 32801

ENGINEER:

ENVIRONMENTAL: BIO-TECH CONSULTING, INC 3025 E SOUTH STREET ORLANDO, FL 32803 PHONE: (407) 894-5969 CONTACT: MORGAN CLARK

GEOTECHNICAL: NATIVE GEOSCIENCE 2014 EDGEWATER DR., SUITE 245 ORLANDO, FL 32804 PHONE: (407) 342-1443 CONTACT: JOHN C DIEHL, PG

WASTE WATER:

SOLID WASTE:

RECLAIMED WATER:

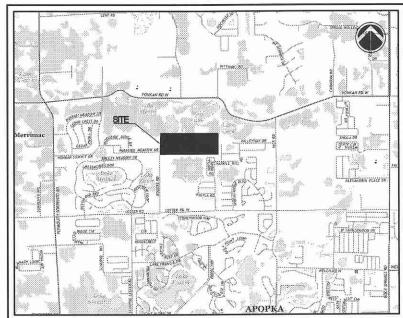
CENTURY LINK 33 NORTH MAIN STREET WINTER GARDEN, FL 34787 PHONE: (407) 814-5351 CONTACT: DAVID BYRNES CHARTER SPECTRUM 3767 ALL AMERICAN BLVD. DRIANDO, FL 32810

CODE DEVIATION

CODE DEVIATION JUSTIFICATION / SUMMARY

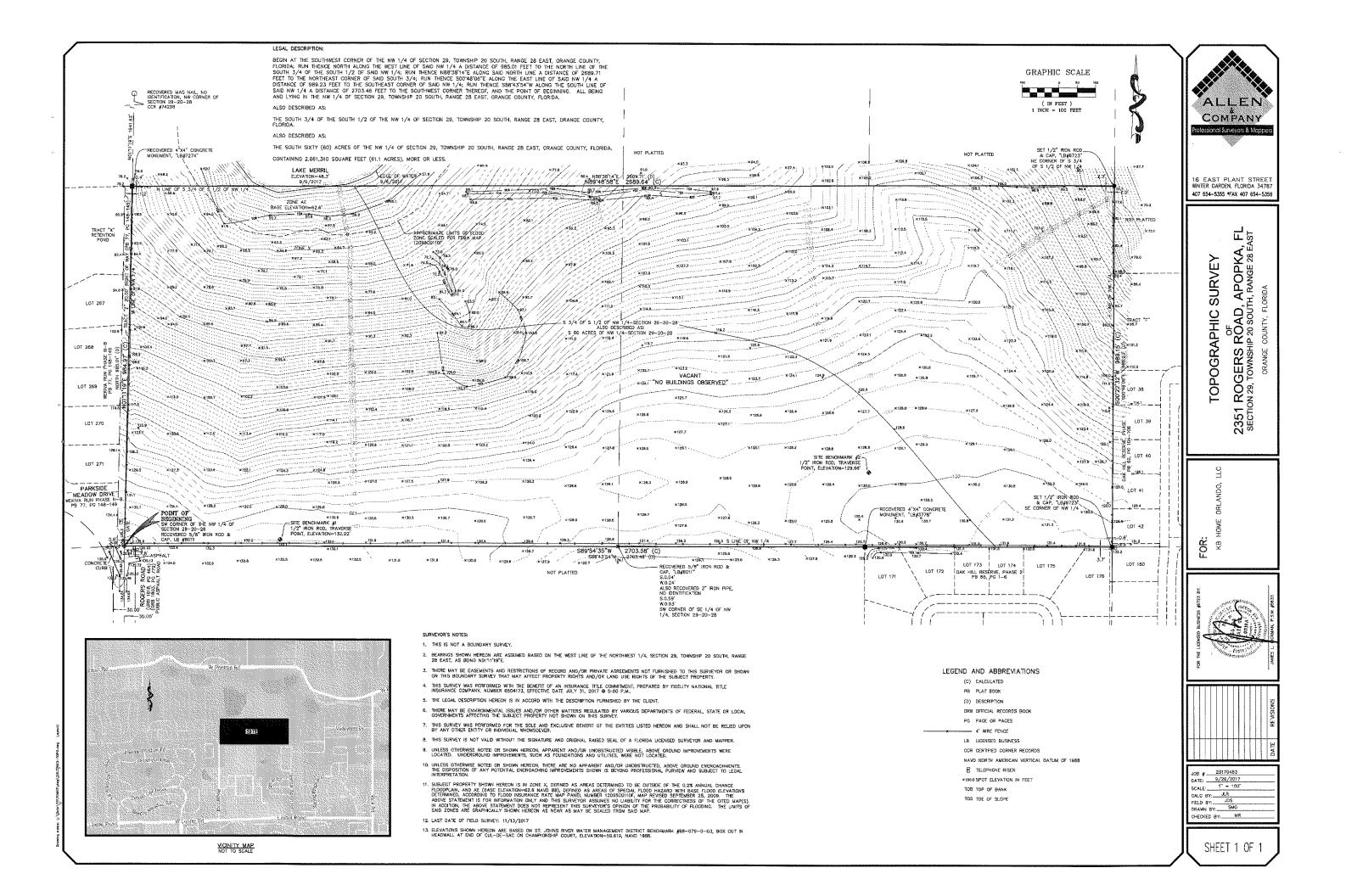
THE MISTA RESERVE COMMUNITY PROPOSES THE DEVELOPMENT OF 153 SINGLE-PAMILY DETACHED LOTS ON 61:10 ACRES OF LAND WITH A RESIDENTIAL LOW SUBURBAN FUTURE LAND USE DESIGNATION. THIS PROPOSEAL WOULD REDUCE THE NET RESIDENTIAL DENSITY TO 2:53 DU/ACRE VERSUS THE ALLOWING AS DU/ACRE. THIS NEGROSHOON WILL PROPOSE A MINIMUM 2;180 SO-FT SINGLE-TAILY MOME, WHICH EXCEDS THE DIC MINIMUM MINOR AREA FOR ALL RESIDENTIAL SINGLE-FAMILY DISTRICTS. THE DEVELOPMENT WILL CONSIST OF 140 HOMES WITH A MINIMUM OF

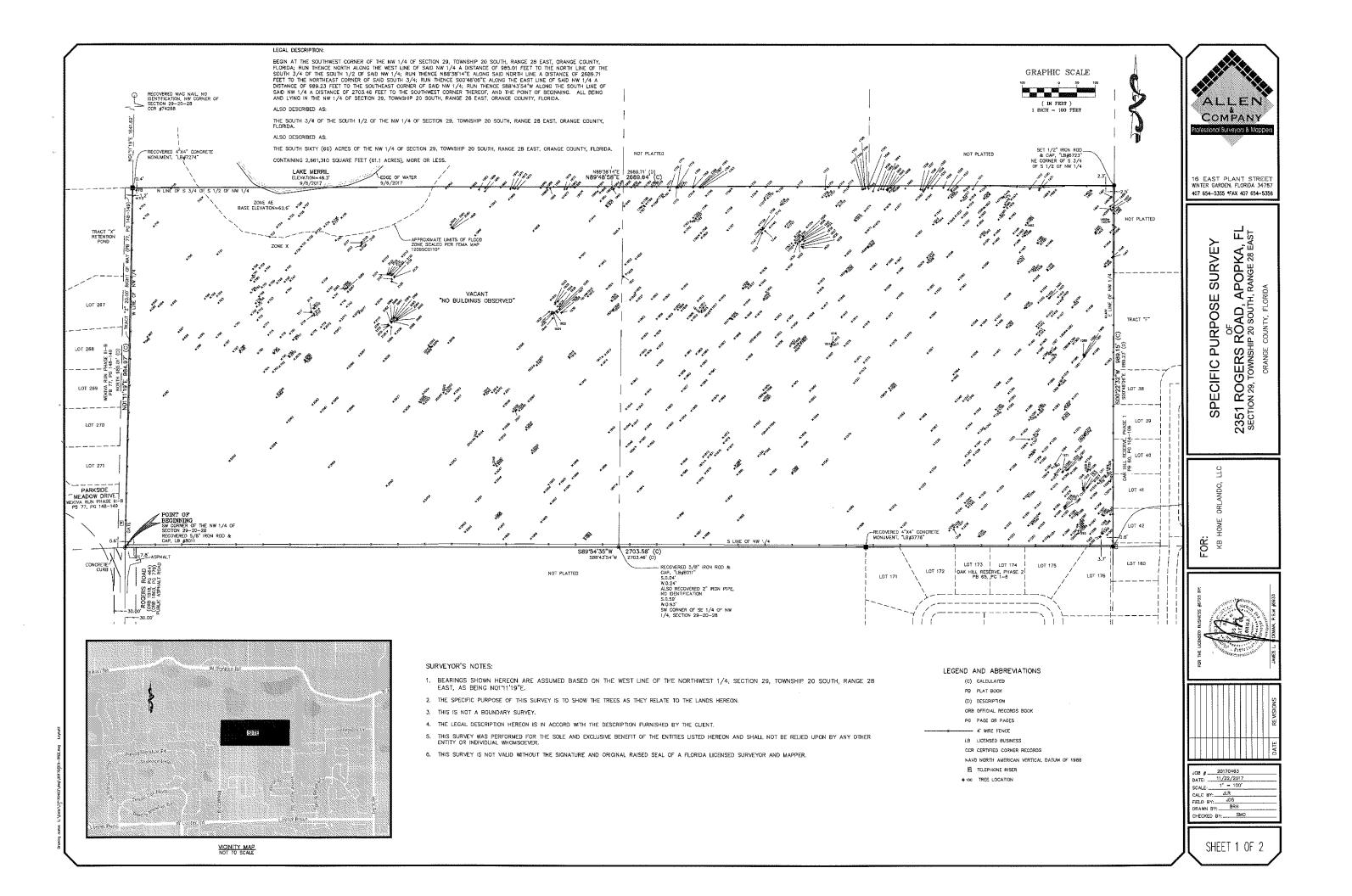
VICINITY MAP



PR17-29

201





8" OAK
25" OAK
9/7" OAK
19/17" OAK
14/11/10" OAK
21" OAK
21" OAK
21" OAK
21" OAK
21" OAK
16" OAK
3" OAK
16" OAK
15" OAK
25" OAK
25" OAK
25" OAK
25" OAK
25" OAK
25" OAK
15/10" OAK
15/10" OAK
15/10" OAK POINT TARLE 12" OAK 11" QAK 14" PALM 15" OAK 6" QAK 13" OAK 24" DAK 9" QAK 7" OAK 28" QAK
18/11" QAK
18/16/12" QAK
24" QAK
38" QAK
6" QAK
6" QAK
25" QAK
32" QAK
32" QAK
12" QAK
13" QAK
14" QAK
14" QAK
13" QAK
13" QAK
13" QAK
13" QAK 6" DAK 11/6" DAK 12/6" OAK 25/20" OAK 10/10/7" OAK 17" OAK 23" DAK 11" ONK 13/8" ONK 13/8" ONK 5/2" ONK 5/2" ONK 5/2" ONK 15 ONK 13" ONK 18" ONK 24° DAK 13° OAK 13° OAK 13° OAK 15° OAK 17° OAK 27° OAK 11° OAK 28° OAK 11° OAK 28° OAK 11° OAK 21° OAK 21° OAK 21° OAK 13° OAK 14° OAK 15° OAK 16° OAK 18° OAK 28° OAK 18° OAK 28° OAK 18° OAK 28° POINT NUMBER DESCRIPTION 10" DAK 16" DAK 10" DAK 7" DAK 13/8" DAK 12" DAK 14" OAK 9" DAK 1271 1272 1273 1274 1275 1276 1276 1277 1278 1279 1280 1281 1282 1283 1284 1285 1286 1287 1286 1287 9 DAK 6" OAK 14" OAK 8" OAK 9" OAK 6" OAK 15//15" DAK
10//0' OAK
15" OAK
9" OAK
8"/7/6" OAK
19"/7/6" OAK
19/7/6" OAK
19/7/6" OAK
22" OAK
22" OAK
11/9" OAK
31" OAK
31" OAK
31" OAK
12" PALM
12" PALM
12" PALM
12" PALM
12" PALM
12" OAK
8" OAK
14" OAK
14" OAK
15" OAK 7" OAK
14/11/10" OAK
11/11/10" OAK
11/11/10" OAK
11/11/10" OAK
11/11/10" OAK
11/10" OAK 15/15" DAK 22/10" OAK 15" OAK 10" OAK 11/22 OAK 12/12/10" OAK 15/10" OAK 15/10" OAK 20/12/10" OAK 10" OAK 19" OAK 19" OAK 24" OAK 24" OAK 24" OAK 24" OAK 24" OAK 20" OAK 20" OAK 15/12/11" OAK 16/14/9" OAK 16/14/9 OA 14 OAK 27" OAK 14/10" OAK 17" OAK 17" OAK 17" OAK 18" OAK 17" OAK 24" OAK 6" OAK 8" OAK 8" OAK 6" OAK 8" OAK 15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
17" OAK
17" OAK
17" OAK
18" OAK
17" OAK
18" OAK
17" OAK
18" OAK
18" OAK
18" OAK
18" OAK
15" OAK 14" DAK 9" OAK 48" OAK 11" OAK 19" OAK 13" PINE 6" PINE 15" QAK B* DAK
B*/7* OAK
7* OAK
12* OAK
12* OAK
13* OAK
13* OAK
13* OAK
14* OAK
23* OAK
6* OAK
6* OAK
14* OAK
15* OAK
15* OAK
16* OAK
16* OAK
16* OAK
16* OAK
17* OAK
18* OAK
19* OAK
19* OAK
11* OAK
12* OAK
15* OAK 2039 2040 2041 2042 2043 2044 2045 2046 2047 2048 2049 2050 2051 2052 2053 2054 2055 21" OAK 9" OAK 24" OAK 15" PALM 13/13" OAK 10° OAK
10° OAK
12′/8° OAK
12′/8° OAK
12′/8° OAK
12′/8° OAK
12′/9/6° OAK
13′/10° OAK
15′ OAK
11′/0/10° OAK 6" OAK 15° OAK 14/12° OAK 15° PALM 14° PALM 17° OAK 28° OAK 28° OAK 18° OAK 18° OAK 18° OAK 19° OAK 20° OAK 6" PINE 13/11/11" OAK 8" DAK 11" OAK 9" OAK 9" OAK 10" OAK 15" PINE 28" OAK 9" OAK 9" OAK 13" OAK 9" OAK 11" OAK 15" OAK
18" OAK
14" OAK
16" OAK
10" OAK
10" OAK
10" OAK
10" OAK
10" OAK
20" OAK
20" OAK
20" OAK
24" OAK
15" OAK
15" OAK
25" OAK
26" OAK
27" OAK
27" OAK
27" OAK
28" OAK 12" OAK 15/6" OAK 15/6" OAK
15/00/K/6/6/6" OAK
12/10/8/6/6" OAK
24/10/8/6/6" OAK
24" OAK
13" OAK
33//18" OAK
33/7" OAK
12/6" OAK
22" OAK
12" OAK
12" OAK
12" OAK
15" PALM
16" OAK
16" OAK
16" OAK
15" OAK 1752 1753 1754 1756 1757 1758 1759 1763 1764 1765 1766 1766 1767 1768 1769 1770 1772 18" DAK 11" DAK 10" DAK 11" DAK 15/9" DAK 14/12" DAK 11" DAK 15" PINE 15" DAK 8" DAK 26° OAK

B' OAK

17' OAK

11' OAK

12' OAK

12' OAK

12' OAK

24' OAK

22/11' OAK

22/11' OAK

22/11' OAK

22/11' OAK

35/7' OAK

14' OAK

27' OAK

4' OAK

32/21' OAK

55/7' OAK

55/7' OAK

14' OAK

14' OAK

50' OAK

14' OAK

15' OAK

10' OAK

10' OAK

11' OAK

11' OAK

13' OAK

11' OAK 13" OAK
9" OAK
9" OAK
13" OAK
13" OAK
33" OAK
8" OAK
12"/9" OAK
14"/10" OAK
14" OAK
14" OAK
14" OAK
11" OAK
11" OAK
10" OAK
11" OAK
11" OAK
11" OAK
10" OAK
11" OAK
10" OAK
11" OAK
10" OAK
8" OAK
10" OAK
8" OAK
11" OAK
8" OAK
10" OAK
8" OAK
8" OAK 8" OAK 6" OAK 8" OAK 6" OAK 20" GAK 8" OAK 11/6" OAK 31" OAK 5" OAK 11/2" OAK 5" OAK 13" OAK 13" OAK 13" OAK 11" OAK
10" OAK
9" DAK
27" OAK
10" OAK
10" OAK
10" OAK
10" OAK
10" OAK
10" OAK
11" OAK
14" OAK
14" OAK
14" OAK
14" OAK
11" OAK
11" OAK
20" OAK 1468 1469 1470 16" OAK 8" OAK 41/22" OAK 8" OAK 18/12" OAK 13" OAK 14/2" OAK 12" OAK 10" OAK 10" OAK 10" OAK 12" OAK 10" OAK 12" OAK 10" OAK 8" OAK 8" OAK 12" OAK 2078 2079 2080 2081 2082 2083 2084 2085 2086 2087 2089 2089 2089 2090 2091 11" OAK 10" DAK 10" DAK
7" OAK
15" DAK
11" OAK
36" OAK
12" DAK
9" OAK
34/31" OAK
8" OAK
33/21" CAK
7/7/6" OAK 14/11" OAK
26" OAK
26" OAK
28" SAK
28" SAK
22" GAK
13" PALM
7" OAK
17'/8" OAK
11" OAK
21" OAK
21" OAK
22" OAK
14" OAK
11" OAK
12" OAK
12" OAK
15" OAK
12" OAK 2092 2092 2093 2094 2095 2096 2097 2098 2099 2100 2101 2102 2103 8" OAK 15/11" OAK 8" OAK 7" OAK 15" OAK 6" OAK 6" OAK 11" OAK 9" OAK 7" OAK 12/11/5" OAK 7" OAK 6" OAK 8" OAK 27/6" OAK 11" OAK
10" PINE
11/1" OAK
37" OAK
37" OAK
27" OAK
27" OAK
27" OAK
27" OAK
12/11/7" OAK
18" OAK
18" OAK
12" OAK
18" OAK
19" OAK
10" OAK 12/11/8" OAK
35" OAK
35" OAK
35" OAK
10/9/8" OAK
10/9/8" OAK
10 OAK
13 OAK
12 PALM
6 OAK
12 OAK
12 OAK
12 OAK
12 OAK
12 OAK
12 OAK
13 OAK
12 PALM
12 OAK
13 OAK 35/21 GAK 9/6" QAK 9/6" QAK 15" QAK 7" QAK 24" QAK 16" QAK 10/7/6" QAK 22" QAK 22" QAK 22" QAK 22" QAK 22" QAK 22" QAK 21" QAK 22, QAK 21" QAK 22, QAK 21" QAK 22, QAK 21" QAK 22, QAK 21" QAK 12/11/5" OAK
7" OAK
8" OAK
8" OAK
14/13/13/14" OAK
12" OAK
12" OAK
10" OAK
11" OAK
10" OAK
11" OAK
11" OAK
11" OAK 13/11/6" OAK 30" OAK 12/6" OAK 36" OAK 18" OAK 5" OAK 34" OAK 8" OAK 8" OAK 5" OAK 14" QAK 15" QAK 15/10" QAK 13" QAK 20" QAK 16" QAK 16" QAK 13/10" QAK 12/9/8" QAK 8" QAK 27/9" QAK 11" QAK 11" QAK 11" QAK 14" QAK 14" QAK 14" QAK 14" QAK 14" QAK 14" QAK 11" OAK
6" OAK
13/13" OAK
13" OAK
14" OAK
12" OAK 10" OAK 20/15/9" OAK 20/15/9" U
13" QAK
11" PINE
15" QAK
9" QAK
7" QAK
6" QAK
2" QAK
7" QAK
7" QAK
6" QAK
7" QAK 20" OAK 13/9" OAK 12" OAK 24/12/10" OAK 1972 1973 1974 1975 1977 1975 1982 1983 1984 1986 1988 1980 1999 1992 1993 1995 1996 2000 2000 2005 2005 2006 2006 1373 1374 1375 1376 1377 1378 1379 1381 1382 1383 14" OAK
14/10" OAK
16" OAK
16" OAK
15" OAK
15" OAK
15" OAK
15" OAK
8" OAK
10" OAK
8" OAK
10" OAK
11/1" OAK
1 7" OAK
10/6" OAK
14/13" OAK
24" OAK
14/13" OAK
8" OAK
15/14/1" OAK
25" OAK
14" PALM
8" OAK
8" OAK
8" OAK
7" OAK 2127 2128 2129 19" QAK 8/7" OAK
12" OAK
11" OAK
11" OAK
13/6" OAK
13" OAK
8" OAK
24" OAK
12/8" OAK
20" OAK
20" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
15" OAK
11" OAK 13/12/11/8" OAK 10 OAK 14/14 OAK 7" OAK 13" OAK 9" OAK 8" OAK 8" OAK 8" OAK 9" OAK 12" OAK 15" PALM 9" OAK 13/14" OAK 7" OAK 12/9/6" OAK 12" OAK 9" OAK 9" OAK 22" OAK 10" GAK 19" GAK 7" OAK 13" OAK 16" OAK 12/6" OAK 15" OAK 12/12/12" OAK 16" OAK 22/20" OAK

ALLEN COMPANY Professional Surveyors & Mapper

16 EAST PLANT STREET WINTER GARDEN, FLORIDA 34787 407 654-5355 *FAX 407 654-5356

É

 $\overline{\omega}$

Ш

OSS

P

OF ROAD, APOPKA, FI 1IP 20 SOUTH, RANGE 28 EAST Ξ GERS ECIFIC 2351 ROC SECTION 29, " 亙 S

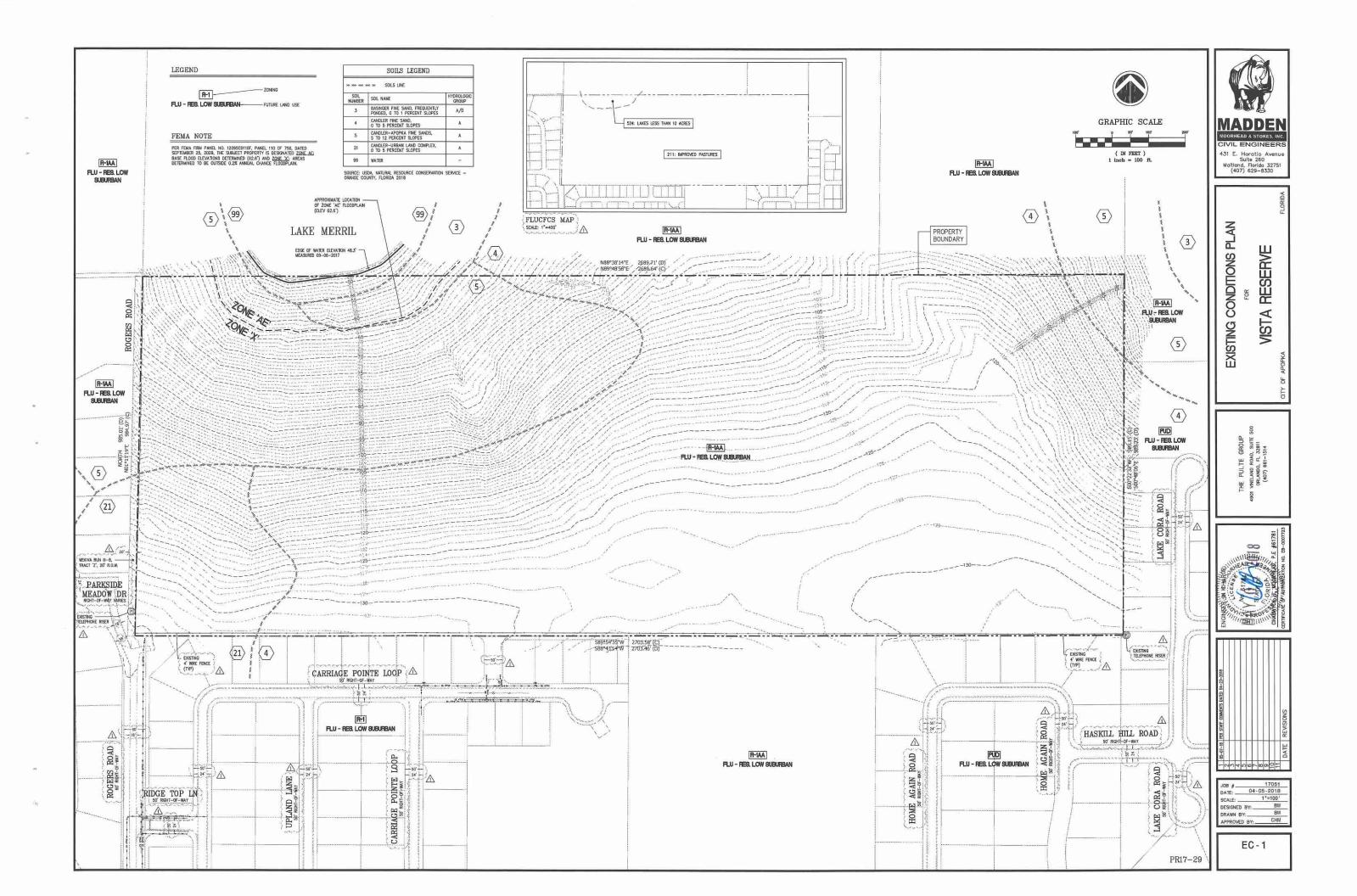
COUNTY,

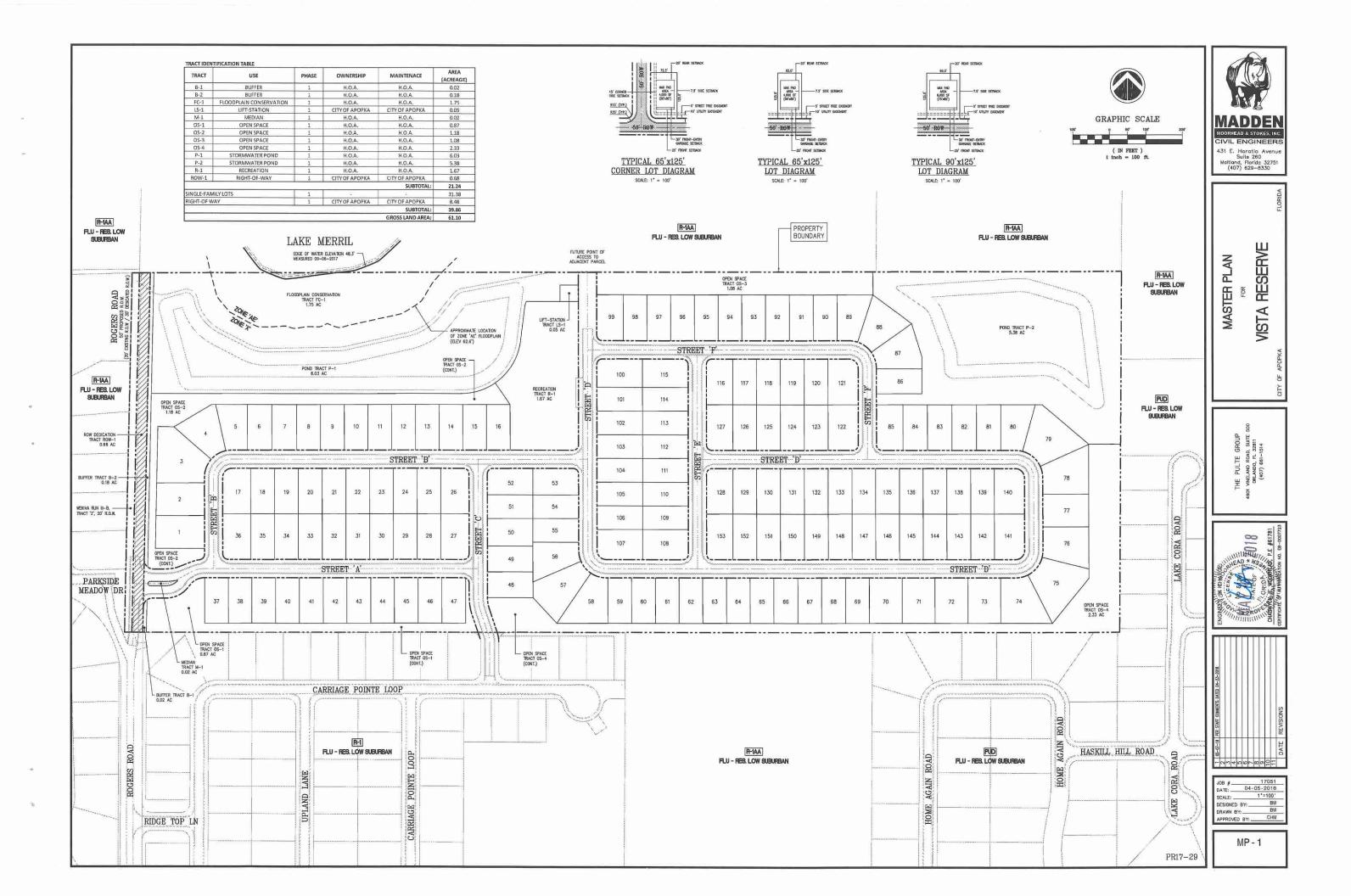
FOR: Α

JOB # 20170463 DATE: 11/22/2017 SCALE: 1" = 100" CALC BY: JLR FIELD BY: JOS DRAWN BY: BRH CHECKED BY: SMO

SHEET 2 OF 2

EXISTING SYMBOLS **ABBREVIATIONS** PROPOSED SYMBOLS MADDEN LINES LINES STORM DRAIN F&C FD FON FDOT FRAME AND COVER PLOOF DAYS PLOOF AREA ANCHOR BOLT ABANDON(ED) ACRE(S) ACRE FOOT/FEET ASBESTOS CEMENT PIPE ADDITIONAL AVERAGE DAILY TRAFFIC ALLIMINUM ABD AC AC-FT ACP ADDL ADT ///////// BUILDING LINE __ _____ CENTER LINE 431 E. Horatio Avenue Sulte 260 Maltiand, Florida 32751 (407) 629-8330 FE THE FEET FEET REAL PRINTS 100 LF STS 24 HDPE @ 0.20% 100 LINEAR FEET STORM PIPE 24" HIGH DENSITY POLYETHELENE PIPE @ 0.20% -- C --- WIRE FENCE RAILROAD TRACKS CENTER LINE UNDERDRAIN 6" HDPE PIPE WOOD FENCE - - CHAIN LINK FENCE DRAINAGE FLOW DIRECTION UNDERGROUND ELECTRIC **ABREVIATIONS** CONTOUR BACKFLOW PREVENTER BASELINE BUILDING BOULEVARD BENCH MARK BOUNDARY BLOWOFF BACK OF CURB BOTTOM UNDERGROUND TELEPHONE FLOW RATE - EASEMENT FDOT INLET TYPE 2 RESERVE GAUGE GALLON GALVANIZED GAS MAIN GAL MAIN GALLONS PER HOUR GALLONS PER MINUTE GALLONS PER MINUTE GALLONS PER SECOND GUARD RAIL GROUND/GRADE GALVANIZED STELL PIPE GATE VALVE GAUGH VALVE GAUGH GAUGH GROUND WATER TABLE GROUND WATER TABLE OVERHEAD FDOT INLET TYPE 3 RIGHT-OF-WAY LINE OVERHEAD TELEPHONE BOTTOM BEARING BOTTOM OF SLOPE BUTTERFLY VALVE FDOT INLET TYPE 4 SHORELINE UNDERGROUND CABLE TELEVISION LOT LINE FDOT INLET TYPE 5 AND CAPACITY CAPACITY CATCH BASIN CENTER TO CENTER CENTER TO CENTER CUBIC FEET PER SECOND CURED AND QUTTER CONSTRUCTION JOINT CONSTRUCTION JOINT CONTRUCTION METAL PIPE / CONTRUCTION METAL PIPE / CONTRUCTION CONTRUCTION JOINT CONTRUC SWALE EASEMENT **VISTA** PROPERTY LINE FDOT INLET TYPE 6 SANITARY SYMBOLS HOSE BIBB HIGH DENSITY POLYETHYLENE HARDWARE HOME OWNERS ASSOCIATION HORSEFOWER HOURE HOURE HOURE HEIGHT HEADWALL HIGH WATER LEVEL HIGHWAY HYDRAULIG MANHOLE SOUTH SANTTARY SEWER SPLASH BLOCK SOCHEDULE SPLASH BLOCK SOCHEDULE SPLAST SECONDS SECTION SELTON SEAST SECONDS SECTION SEAST SECONDS SECTION SEASONAL HIGH GROUND WATER TABLE SINILAR SETBACK LINE SLOPE SECTION SPECIFICATION(S) SPECIFICATION(S) SQUARE SANITARY SEWER LINE #y #ss FORCE MAIN MITERED END SECTION CLP CLR CMPA COMPA 0 CLEANOUT (3) MANHOLE SLOPE DIRECTION ARROW FOR POND SIDE SLOPE WATER & REUSE WATER 000.00 SHORELINE SPOT ELEVATION INTERSTATE HIGHWA' INTERSECTION ANGLE INSIDE DIAMETER INSIDE FACE INCHES INCHES INSERT INSERT INSTALL IRON PIPE IRON ROD INTERSECT/INTERSEC INVERT STORM INLETFY VX:..... WATER MAIN DIP PIPE WATER VALVE TREE LINE SPECIFICATION(S) SOUARE SOUARE INCH(ES) SOUARE FOOT/FEE SOUARE FOOT/FEE SOUARE FOOT/FEE SOUARE FOOT/FEE SOUARE FOOT/FEE SOUARE FOOT/FEE STAINLES STAINLES STAINLES STAINLES STAINLES STAINLE SUMBOLL(S) STAINLE STAINLE STAINLE STAINLE STAINLE SUMBOLL(S) STAINLE STAINLE STAINLE SUMBOLL(S) STAINLE STAINL REUSE WATER MAIN 17 FIRE HYDRANT distri-020 BACKFLOW PREVENTOR WATER METER SANITARY HIGHWAY & UTILITIES ST STA STD STL STR STS SUP SUSP SVC SW SWM SYM SYM SYM SYM SYM SYS STORM DRAIN JUNCTION BOX JUNCTION JOIST JOINT THE PULTE (1 VINELAND ROAD DRIANDO, FL. (407) 861-19 • 100 LF SAN 8 PVC 0.40% 100 LINEAR FEET BOUND CORNER STORM SEWER 2 FDOT TYPE 1 INLET PIPE @ 0.40% SLOP LENGTH LATITUDE LATERAL POUND UNEAR FEET/FOOT LONG LIMIT(S) LIGHT POLE LONG LEFT LOW WATER LEVEL CONCRETE OOUBILE DEGREE DEGREE DEFILECTION) DEP ARTMENT DESON HIGH WATER LEVEL DESON HIGH WATER LEVEL DIAMETER DIAGONAL DIMENSION DUCTILE IRON DUCTILE IRON DUCTILE IRON DUCTILE IRON DUCTILE IRON DUCTILE IRON DIAMETER DEGONAL DEGONA FDOT TYPE 2 INLET (0) MANHOLE 520 COUNTY ROADS DOUBLE SANITARY TANGENT TURRELOCK TOP AND BOTTOM TEMPORARY BENCH MARK TEMPORARY BENCH MARK TEMPORARY BENCH MARK TEMPORARY TECHNICAN, TECHNICAN, TECHNICAN, TECHNICAN, TEMPORARY TECHNICAN, TEMPORARY TOP OF BANK TOP OF CURB TO COURS TO CO 1 67571 MITERED END 901 24 FDOT TYPE 3 INLET DETAIL REFERENCE TB T&B TDM TC TD TDH TECH TEMP TL TOB TOC TOS TOT 1 STORM INLET FDOT TYPE 4 INLET ___ FM ___ FM ___ FM ___ \boxtimes DUMPSTER PAD LONGEN CHI MANAGOO PE FEIT 00 E2223 FDOT TYPE 5 INLET MANITENANCE MATERIAL MARNUMOL MATERIAL MARNUMOL MITTERD END MANIFACTURER MARNEL FDOT TYPE 6 INLET FINISHED FLOOR ELEVATION W/ FHA LOT TYPE FF=98.76 TYPE A HIGHWAY & UTILITIES WATER & REUSE WATER **-(** GUY POLE WATER MAIN --(6) BENCHMARK GUY POLE BRICK PAVERS E HANDICAP PARKING 11 1/2" BEND \Box WOOD UTILITY POLE RECOVERED 4x4 CM DIRT ROAD 95) 22 1/2" BEND INTERSTATE ROADS EFF ECLB ELECV ELECV ELECV ELECV ELECV ELECV ELECV ECQUIP ESMT EST EXCENTER 183 CONCRETE UTILITY POLE 8" MAPLE TREE 45° BEND Y SET 4x4 CM LIGHT POLE $\dot{\alpha}$ VALVE BOX VERTICAL CURVE VIRINIED CLAY PIPE VERTICAL VERTICAL POINT OF CURVE VERTICAL POINT OF INTERSECTION VERTICAL POINT OF TANGENCY (3) H 90. BEND ELECTRIC MANHOLE 8" OAK TREE SET IRON ROD NAWTH -0 0 -0 H TEE NORTH NORTH NOT APPLICABLE NAL AND CAP NORTHEAST NATURAL GROUND NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE NORTHWEST NORMAL WATER LEVEL 200 8" PINE TREE 16 15 21 22 RECOVERED IRON ROD 1 SECTION CORNER CROSS 200 TELEPHONE RISER 8" PALM TREE WEST WITH WATER MAIN WITHOUT WATER MAIN WITHOUT WATER SUPERATHER PROOF WATER SURFACE WEST SASON WATER TABLE WEIGHT WATER VALVE WELDED WIRE FABRIC WELDED WIRE MESH CHECK VALVE -NCONCRETE [50] ELECTRIC BOX / STATE ROADS 8" MISC, TREE -NN-ENDWALL EXCAVATE/EXCAVATION EXISTING EXPAND/EXPANSION EXTEND/EXTENSION COUNTY ROADS SILT FENCE WELL 000000 민 DOUBLE WATER SERVICE (95) ON CENTER OUTSIDE DIAMETER OR EQUAL OPENING OPPOSITE OVAL REINFORCED CONCRETE PIPE OUTFALL STRUCTURE OVERFLOW OVERFLOW TRAFFIC FLOW PAVEMENT MARKING MONITORING WELL M GATE VALVE (80) STATE ROADS DUMPSTER Y G UTILITY POLE RR CROSSING SIGN 0 METER WOOD AND/OR METAL 17 BLDG OR STRUCTURE \triangleright REDUCER RR CROSSING GATE CONCRETE LIGHT POLE 25 TYPE F CURB & GUTTER 0 BLOWOFF TRAFFIC SIGNAL POLE 4 ONNO BACKFLOW PREVENTER YARD LIGHT MIAMI CURB SATELLITE DISH (F) MISCELLANEOUS SIGN SAMPLE POINT CROSS SECTION DETAIL UNDERDRAIN CEANOU N.T.S. 0 SECTION CORNER DESIGNED BY: BW HANDICAP PARKING RECLAIM WATER MAIN EDGE OF PAVEMENT CHM APPROVED BY: __ 99.60 SPOT ELEVATION EDGE OF PAVEMENT W/CURB DOUBLE REUSE WATER SERVICE SYM-1 PR17-29





DEVELOPMENT INFORMATION

DEVELOT WILLY BY ONWINTION		
FUTURE LAND USE	RESIDENTIAL LOW SUBURBA	٩N
EXISTING ZONING	R-1	AA
ZONING	PLANNED UNIT DEVELOPMENT (PU	D)
PROPOSED PSP UNITS	153 UN	TS
TOTAL DEVELOPABLE LAND AREA	61.10 ACR	ES
RIGHT-OF-WAY DEDICATION (TRACT F	ROW-1) 0.68 ACR	ES
NET DEVELOPABLE LAND AREA	60.42 ACR	ES
MAXIMUM RESIDENTIAL DENSITY (ALL	OWED) UP TO 3.5 DU/	AC
NET RESIDENTIAL DENSITY	2.53 DU/	AC

RESIDENTIAL DEVELOPMENT STANDARDS

TOTAL DEVELOPABLE LAND AREA	61.10 ACRES
RIGHT-OF-WAY DEDICATION (TRACT ROW-1)	0.68 ACRES
NET DEVELOPABLE AREA	60.42 ACRES
NUMBER OF UNITS	159
MAXIMUM RESIDENTIAL DENSITY (ALLOWED)	UP TO 3.5 DU/AC
NET RESIDENTIAL DENSITY (PROPOSED)	2.53 DU/AC
MIN, LOT AREA	8,125 SF
MIN. LOT WIDTH	65'
MIN. LOT DEPTH	125'
MIN. LIVING AREA	(2,190 SF)/I
MAX BUILDING HEIGHT	35'
SETBACKS (feet) (1)	
FROM NATURAL SURFACE WATERBODY OR WETLAND EDGE	50'
FRONT PRIMARY	25'
FRONT ENTRY GARAGE	30'
REAR PRIMARY	20'
SIDE	7.5'
CORNER SIDE	15'
ACCESSORY STRUCTURES	SEE NOTE (1) BELOW

(1) ACCESSORY STRUCTURE SETBACKS SHALL COMPLY WITH LAND DEVELOPMENT CODE, ARTICLE VII, SECTION 7.01.00.

RECREATION AREA CALCULATIONS (1)(2)

RECREATION AREA REQUIRED = 3.6 ACRES PER 1,000 POPULATION
LINITE VID 0026 DECIDI E DED LINIT VIZ E ACRES - DECLIRED DECREATION ADEA

PHASE 1	153 UNITS	1.43
TO	TAL RECREATION REQUIRED:	1.43

RECREATION AREA PROVIDED

PHASE	TRACTID	AREA PROVIDED
1	R-1	1.67
TO	TAL RECREATION PROVIDED:	1.67

(1) ALL UNITS ARE ACRES.

(2) PER LAND DEVELOPMENT CODE, ARTICLE II, SECTION 2.02.18(E)(5).

OCPS SCHOOLS

School Type	School Name	Residential Units	Multiplier per OCPS	Student Population
Elementary Students	Wolf Lake	153	0.191	29
Middle School Students	Wolf Lake	153	0.095	15
High School Students	Apoka High	153	0.131	20
		Totals:	0.417	64

	RIGHTS-OF-WAY	PUBLIC	TO BE OWNED AND MAINTAINED BY CITY OF APOPKA
Married Married	PONDTRACTS	PRIVATE	TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION WITH A USE AGREEMENT TO ALLOW CITY OF APOPKA THE ABILITY TO MAINTAIN DRAINAGE STRUCTURES.
	DRAINAGE EASEMENTS	PUBLIC	TO BE OWNED AND MAINTAINED BY THE CITY OF APOPKA WITH A USE AGREEMENT TO ALLOW HOMEOWNERS ASSOCIATION THE ABILITY TO MAINTAIN FOR AESTHETIC PURPOSES.
	UTILITY, WALL, AND LANDSCAPE EASEMENTS	PUBLIC / PRIVATE	TO 8E OWNED AND MAINTAINED BY HOMEDWINERS ASSOCIATION WITH UTILITY DEDICATIONS TO OTHER PRIVATE UTILITY COMPANIES. UTILITIES WITHIN THE EASEMENT TO BE OWNED AND MAINTAINED BY OTHER PRIVATE ENTITIES.
	UTILITY EASEMENTS ADJACENT TO RIGHT-OF-WAY TRACT	PUBLIC / PRIVATE	TO BE DEDICATED TO THE CITY OF APOPKA, HOA AND/OR OTHER PRIVATE UTILITY COMPANIES. UTILITIES WITHIN THE EASEMENTS MAY BE OWNED AND MAINTAINED BY THE CITY OF APOPKA AND/OR OTHER PRIVATE ENTITIES.
	WATER AND RECLAIMED WATER	PUBLIC	TO BE OWNED AND MAINTAINED BY CITY OF APOPKA
	SANITARY SEWER AND FORCEMAIN	PUBLIC	TO BE OWNED AND MAINTAINED BY CITY OF APOPKA
	BUFFER TRACTS	PRIVATE	TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION
	LIFT STATION TRACT	PUBLIC	TO SE OWNED AND MAINTAINED BY CITY OF APOPKA
	RECREATION TRACTS	PRIVATE	TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION
	OPEN SPACE TRACTS	PRIVATE	TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION
	FLOODPLAIN (CONSERVATION EASEMENTS)	PRIVATE	TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION

CITY OF APOPKA UTILITIES CITY OF APOPKA UTILITIES RECLAIMED WATER SERVICE WASTEWATER SERVICE CITY OF APOPKA UTILITIES ELECTRIC SERVICE DUKE ENERGY SOLID WASTE CITY OF APOPKA CABLE SPECTRUM NATURAL GAS LAKE APOPKA NATURAL GAS FIRE PROTECTION CITY OF APOPKA

OPEN SPACE CALCULATIONS [3]

OPEN SPACE REQUIRED = 30% OF NET DEVELOPABLE LAND AREA	
NET DEV. LAND AREA x 30% = REQUIRED OPEN SPACE =	18.13
TOTAL OPEN SPACE REQUIRED:	18.13

PHASE		TRACTS	AREA PROVIDED
	P-1 P-2	STORMWATER PONDS (MAX, 50% OF REQ.)	9.06
	B-1	BUFFER	0.02
	B-2	BUFFER	0.18
	FC-1	FLOODPLAIN CONSERVATION	1.75
1	M-1	MEDIAN	0.02
	05-1	OPEN SPACE	0.87

TOTAL OPEN SPACE PROVIDER (1) ALL UNITS ARE ACRES. (2) PER LAND DEVELOPMENT CODE, ARTICLE II, SECTION 2.02.18(19)(b)(1b)

TRAFFIC GENERATION, BASED ON ITE TRIP GENERATION 9TH EDITION

			Number of	D	AILY		PM PEAK HO	UR	
Phase	ITE Code	Land Use	Dwelling Units	Weekday Trips Per Unit	Total Generated Daily Trips	PM Peak Hour Trips Per Unit	Total Generated PM Hour Trips	PM In	PM Out
1	210	SINGLE-FAMILY, DETACHED	153	9.52	1,457	1.00	153	103	50
		TOTAL	153		1,457		153	103	50

DEVELOPMENT NOTES

- 1. THIS PROJECT SHALL BE DEVELOPED IN ONE PHASE.
- 2. ALL ACREAGES ARE SUBJECT TO CHANGE WITH FINAL ENGINEERING AND FINAL PLAT REVIEW AND APPROVAL
- 3. COMMUNITY IDENTIFICATION SIGNAGE SHALL COMPLY WITH APPLICABLE CITY OF APOPKA LAND DEVELOPMENT CODE REQUIREMENTS.
- 4. ARCHITECTURAL DESIGN SHALL MEET THE INTENT OF THE CITY OF APOPKA'S DEVELOPMENT DESIGN GUIDELINES.
- 5. FRONT ENTRY GARAGES SHALL BE SETBACK A MINIMUM OF 30 FEET FROM THE FRONT PROPERTY LINE AND NOT EXTEND PAST THE FRONT BUILDING WALL.
- 6. POWER SERVICE WITHIN THE DEVELOPMENT TO BE UNDERGROUND.
- 7. ALL COMMON AREAS SHALL BE OWNED AND MAINTAINED BY A MANDATORY HOMEOWNERS ASSOCIATION.
- 8. COMMUNITY RECREATION FACILITIES SHALL BE FOR THE PRIVATE USE OF COMMUNITY RESIDENTS ONLY AND OWNED AND MAINTAINED BY A MANDATORY HOMEOWNERS ASSOCIATION.
- 9. THE FINAL DEVELOPMENT PLAN SHALL INCLUDE THE PLAT DOCUMENT. THE PLAT DOCUMENT SHALL INCLUDE A DEDICATED UTILITY EASEMENT TO THE CITY OF APOPKA FOR THE MAINTENANCE OF WATER, RECLAIMED WATER, AND SEWER SERVICE LINES OVER MEDIAN TRACT M-1.
- 10. COMMUNITY IDENTIFICATION SIGNAGE SHALL NOT EXCEED 8 FEET IN HEIGHT PER CITY OF APOPKA LDC SECTION 8.04.15(b). SEE LANDSCAPE PLANS FOR FURTHER DETAILS.
- 11. A MAIL KIOSK WILL BE PROVIDED FOR THE COMMUNITY AND INCORPORATED INTO THE POOL CABANA STRUCTURE OR AS A FREE STANDING STRUCTURE WITHIN RECREATION TRACT R-1, FINAL LOCATION WITHIN TRACT R-1 SHALL BE DETERMINED WITH THE FINAL DEVELOPMENT PLAN SUBMITTAL.
- 12. RECREATION FACILITIES WITHIN RECREATION TRACT R-1 SHALL BE COMPLETED BY THE ISSUANCE OF THE TWENTY FIFTH (25) CERTIFICATE OF OCCUPANCY.
- 13. ALL ACREAGES ARE SUBJECT TO CHANGE WITH FINAL ENGINEERING AND FINAL PLAT REVIEW AND APPROVAL.

INDIVIDUAL	LOT	TARI	F (1)(2)(3	1

LOT NUMBER	FRONTAGE (FT)	APPROX. LOT DEPTH (FT)	LOT AREA (SQ-FT)	TYPICAL 65'x125' LOT	TYPICAL 90'x125' LOT
LOT1	90	132	12,046	+	×
LOT 2	90	130	11,865	+	x
LOTE	69	130	17,241		x
LOT 4	48	130	17,340	X	
LOT 5	60	125	9,190	×	
	67	125		- x	-
LOT 6	67	125	8,438 8,438	X	
	65	125	O'man	X	
LOT 8		-	8,125		
LOT9	65	125	8,125	X	
LOT 10	65	125	8,125	Х	
LOT 11	65	125	8,125	×	
LOT 12	65	125	8,125	×	
LOT 13	65	125	8,125	X	
LOT 14	65	125	8,125	×	
LOT 15	65	125	8,125	x	
LOT 16	65	125	8,125	X	
LOT 17	77	125	9,553	×	
LOT 18	65	125	8,125	X	
LOT 19	65	125	8,125	X	
LOT 20	65	125	8,125	×	
LOT 21	65	125	8,125	X	
LOT 22	65	125	8,125	Х	
LOT 23	65	125	8,125	X	
LOT 24	65	125	8,125	X	
LOT 25	65	125	8,125	x	
LOT 26	77	125	9,639	×	
LOT 27	77	125	9,639	×	
LOT 28	65	125	8,125	х	CONTRACTOR OF THE PARTY
LOT 29	65	125	8,125	×	
LOT 30	65	125	8.125	×	
LOT 31	65	125	8,125	X	
LOT 32	65	125	8,125	×	
LOT33	65	125	8,125	×	
LOT 34	65	125	8,125	x	
LOT 35	65	125	8,125	×	
LOT 36	77	125	9,639	×	
LOT 37	65	125	8,125	- x	
LOT 38	65	125 125	8,125	X X	
LOT 49	65		8,125		
LOT 40	65	125	8,125	X	
LOT 41	65	125	8,125	×	
LOT 42	65	125	8,125	×	
LOT 43	65	125	8,125	x	
LOT 44	65	125	8,125	X	
LOT 45	65	125	8,125	×	
LOT 46	65	125	8,125	X	
LOT 47	65	125	8,124	. ×	
LOT 48	70	125	8,813	×	
LOT 49	70	125	8,813	X	
LOT 50	76	125	9,500	X	
LOT51	68	125	8,125	×	
LOT 52	72	125	9,014	x	
LOT 53	72	125	9,014	×	
LOT 54	65	125	8,125	×	
LOT 55	65	125	8,125	X	
LOT 56	53	125	10,300	X	
LOT 57	42	142	13,964	×	
LOT 58	49	125	12,377	X	
LOT 59	65	125	8,125	×	
LOT 60	65.	125	8,125	×	
LOT 61	65	125	8,125	×	
LOT 62	6.5	125	8,125	X	
LOT 63	65	125	8,125	×	
LOT 64	65	125	8,125	X	
LOT 65	65	125	8,125	X	
LOT 66	65	125	8,125	×	
LOT 67	65	125	8,125	×	
LOT 68	65	125	8,125	x	
LOT 69	65	125	8,125	×	
LOT 70	90	125	11,250	+ ^-	x
		125			×
LOT71	90		11,250	+	
LOT72	90	125	11,250	1	X
LOT 73	90	125	11,250		X
LOT74	76	125	13,814	_	X
LOT 75	64	125	16,309	_	×
LOT 76	83	125	12,481		X
LOT 77	90	125	11,250		X

NUMBER	(FT)	(FT)	(SQ-FT)	65'x125' LOT	90'x125' LO
LOT 78	77	125	13,563		х
LOT 79	őS.	125	16,104		×
LOT 80	60	125	9,586	×	
LOT 81	67	125	8,375	×	
LOT 82	67	125	8,375	x	
LOT B3	67	125	8,375	×	
LOT 84	67	125	8,375	×	
LOT 85	72	125	9,014	X	
LOT 86	68	125	8,516	x	
LOT 87	44	125	11,134	x	
LOT SE	48	125	11,371	×	
LOT B9	56	125	9,748	x	
LOT 90	65	125	8,125	x	
LOT 91	65	125	8,125	x	
LOT 92	65	125	8,125	x	
LOT 93	65	125	8,125	x	
LOT 94	65	125	8,125	×	
LOT 95	65	125	8,125	x	
LOT 96	65	125	8,125	×	
LOT 97	65	125	8,125	X	
LOT 98	65	125	8,125	x	
LOT 99	72	125	9,014	×	
LOT 100	77	125	9,639	×	
LOT 101	65	125	8,125	x	
LOT 102	65	125	8,125	×	
LOT 103	65	125	8,125	×	
LOT 104	9300	125		x	
LOT 105	65		8,125	×	
	65	125	8,125	X	
LOT 106	65	125	8,125		
LOT 107	82	125	10,178	X	
LOT 106	82	125	10,264	X	
LOT 109	65	125	8,125	×	
LOT 110	65	125	8,125	×	
LOT 111	65	125	8,125	X	
LOT 112	65	125	8,125	×	
LOT 113	65	125	8,125	×	
LOT 114	65	125	8,125	×	
LOT 115	77	125	9,639	×	
LOT 116	72	125	9,014	X	
LOT 117	65	125	8,125	X	
LOT 118	65	125	8,125	×	
LOT 119	65	125	8,125	×	
LOT 120	85	125	8,125	x	
LOT 121	82	125	10,178	×	
LOT 122	82	125	10,264	X	
LOT 123	65	125	8,125	X	
LOT 124	65	125	8,125	×	
LOT 125	65	125	8,125	x	
LOT 126	65	125	8,125	X	
LOT 127	72	125	9,014	X	
LOT 128	72	125	9,014	x	
LOT 129	55	125	8,125	×	
LOT 130	65	125	8,125	X	
LOT 131	65	125	8,125	x	
LOT 132	65	125	8,125	×	
LOT 133	65	125	8,125	×	
LDT 134	65	125	8,125	×	
LOT 135	65	125	8,125	×	
LOT 136	65	125	8,125	x	
LOT 137	65	125	8,125	X	
LOT 137	65	125	8,125	×	
LOT 139	65	125	8,125	×	
LOT 140	82	125	10,178	×	
	-			×	
LOT 141	82 65	125	10,178	X	
LOT 142	1/01/	125	8,125		-
LOT 143	65	125	8,125	×	
LOT 144	65	125	8,125	X	
LOT 145	65	125	8,125	X	
LOT 145	65	125	8,125	×	
LOT 147	65	125	8,125	×	
LOT 148	65	125	8,125	Х	
LOT 149	65	125	8,125	×	
LOT 150	65	125	8,125	х	
LOT 151	65	125	8,125	x	
LOT 152	65	125	8,125	×	
LOT 153	72	125	9,014	X	

- (1) LOTS SHALL MEET A TYPICAL 65'x125' OR 90'x125' STANDARD AS IDENTIFIED ON SHEET MP-1.
- (2) DIMENSIONS AND AREAS SHOWN HAVE BEEN ROUNDED TO THE NEAREST WHOLE NUMBER
- (3) DIMENSIONS IDENTIFIED MAY VARY BASED ON LOT CONFIGURATION. PLEASE SEE SHEETS SP-1 AND SP-2 FOR SPECIFIC DIMENSIONING.

LOT DISTRIBUTION TABLE

MINIMUM LOT STANDARD	QUANTITY	PERCENTAGE
65'x125' TYPICAL LOT	140	91.5%
90'x125' TYPICAL LOT	13	8.5%
TOTAL	153	100.0%

П	MADDEN
П	MOORHEAD & STOKES, INC.
II	CIVIL ENGINEERS

431 E. Horatio Avenue Suite 260 Maitland, Florida 32751 (407) 629-8330

DATA

OPMENT NOTES AND RESERVE

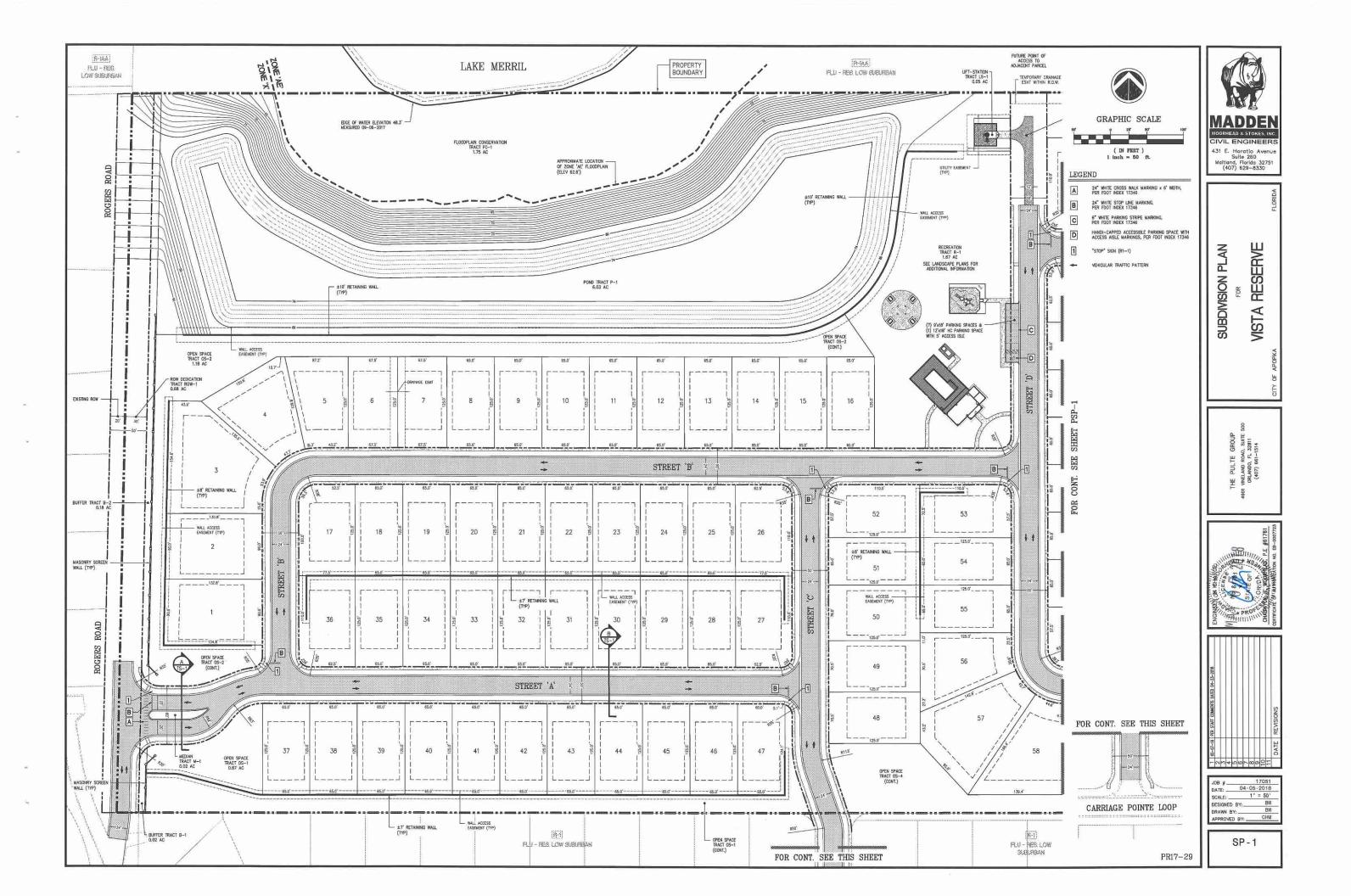
VISTA

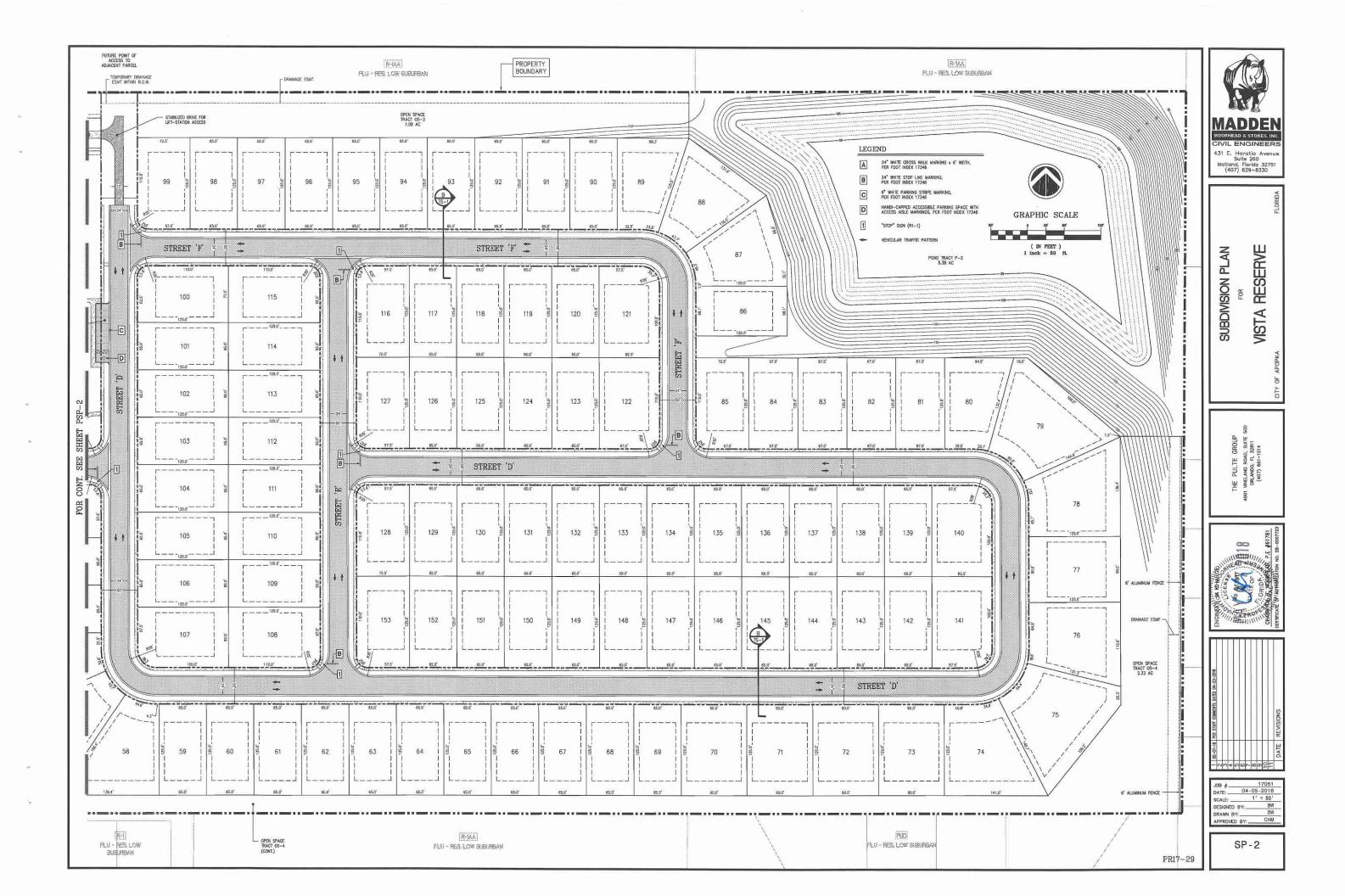


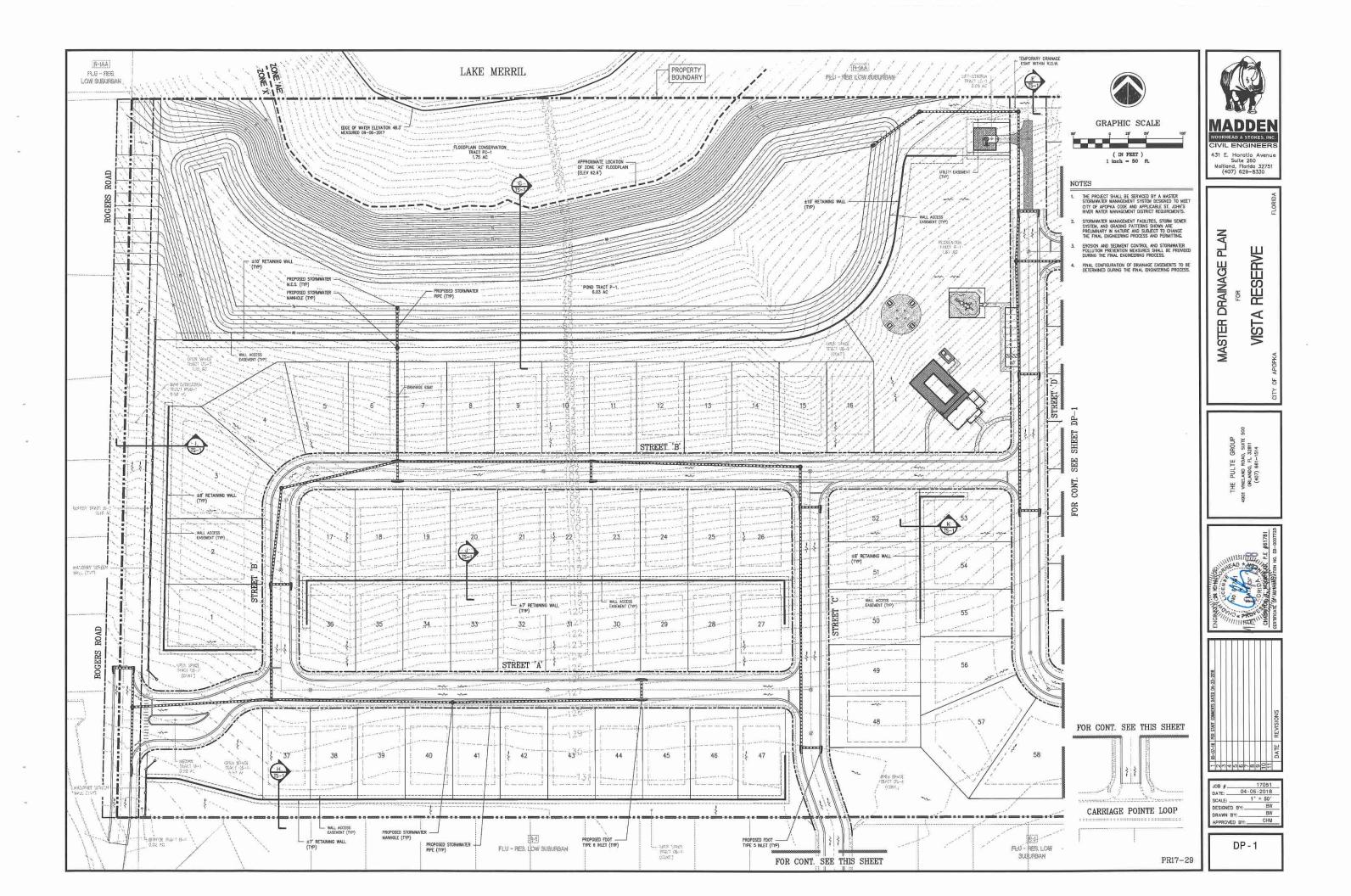
-	05-07-18	OS-07-18 PER STAFF COMMENTS DATED 04-23-2018	
m			
4			
S			
9			
1			
æ			
o			
0			
Ξ			
	200	ONCIONAD DEVICE	

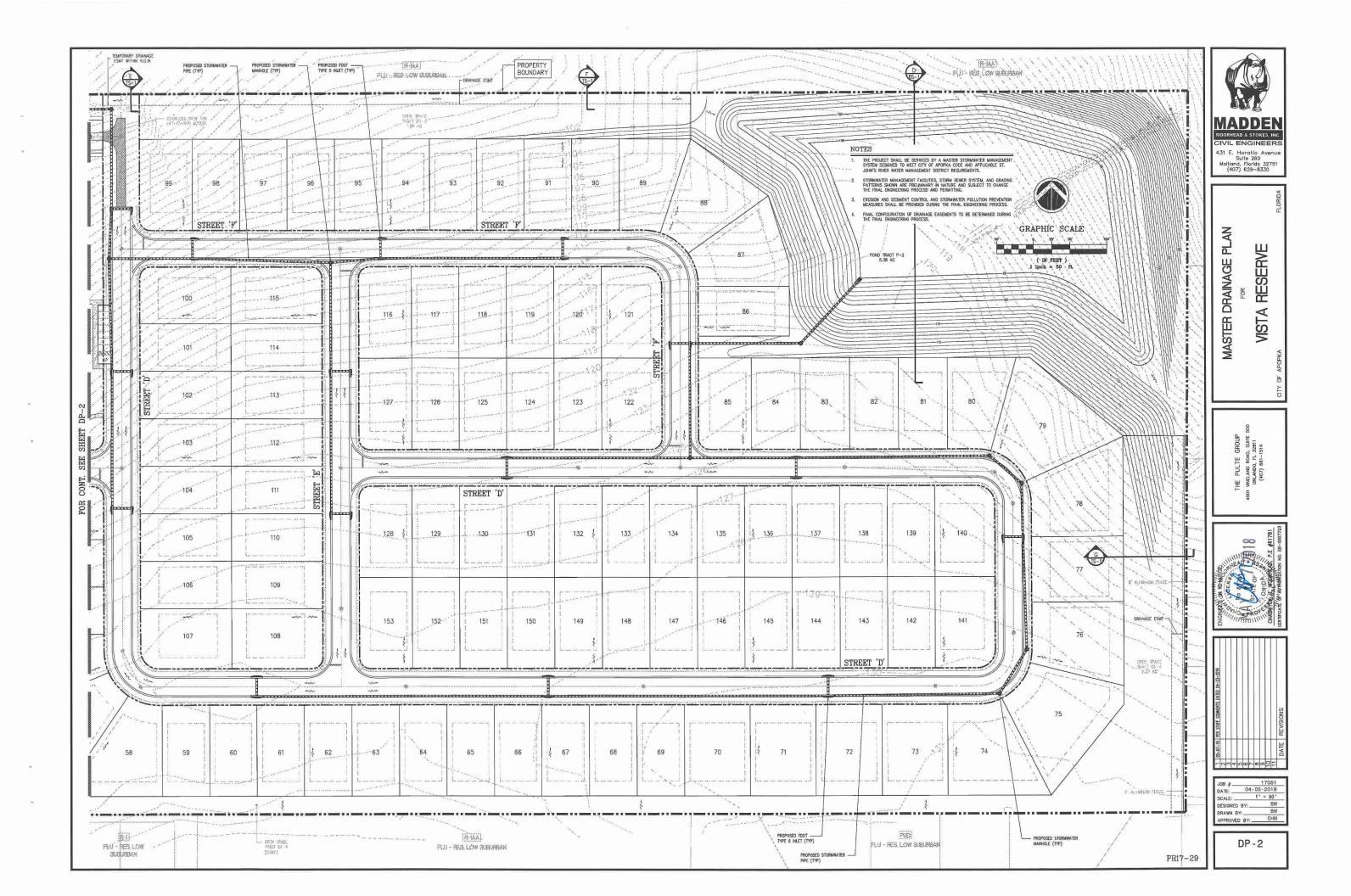
JOB #	17051
	5-2018
SCALE:	NTS
DESIGNED BY:	BW
DRAWN BY:	BW
APPROVED BY:	CHM

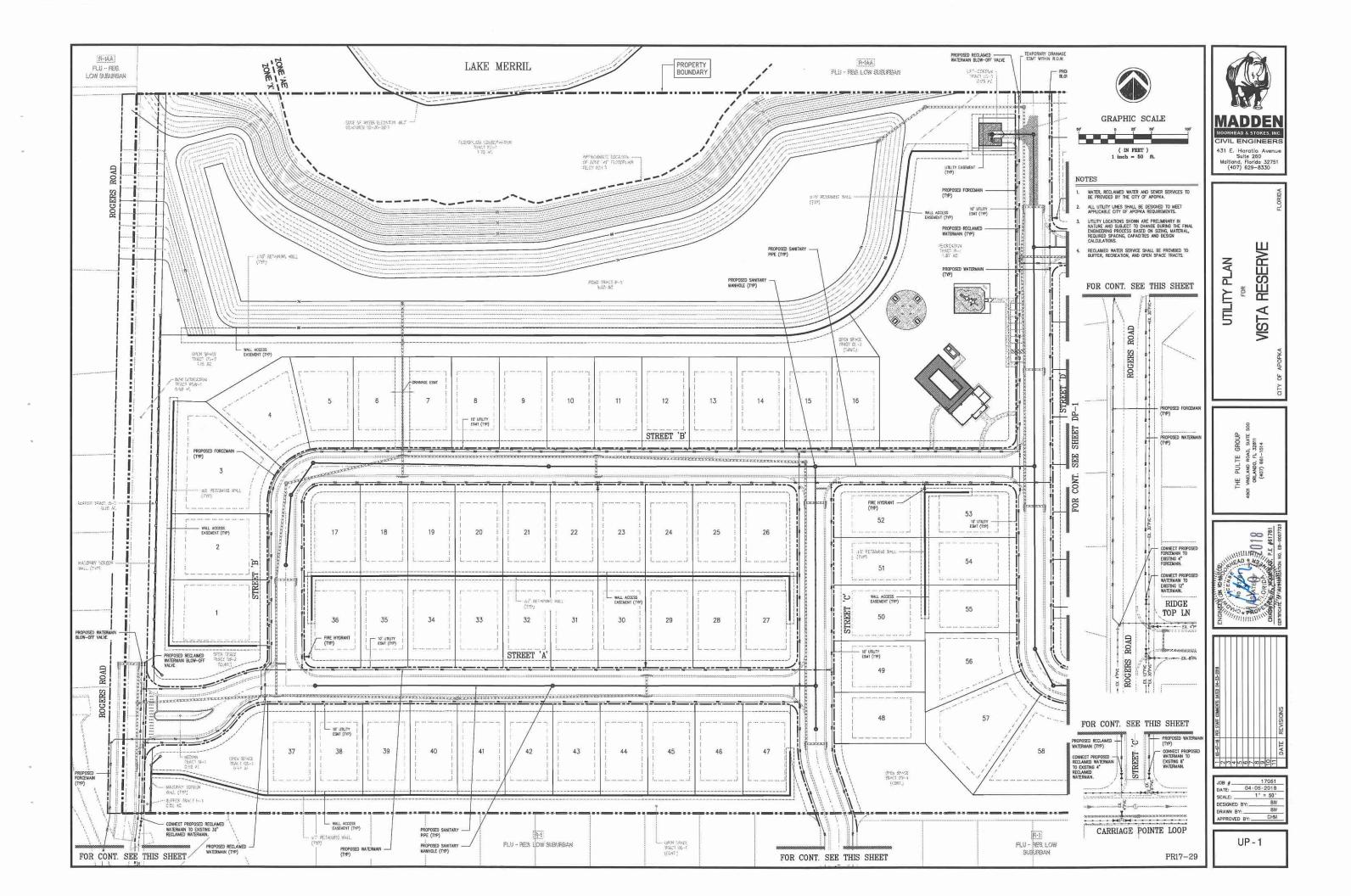
DD - 1

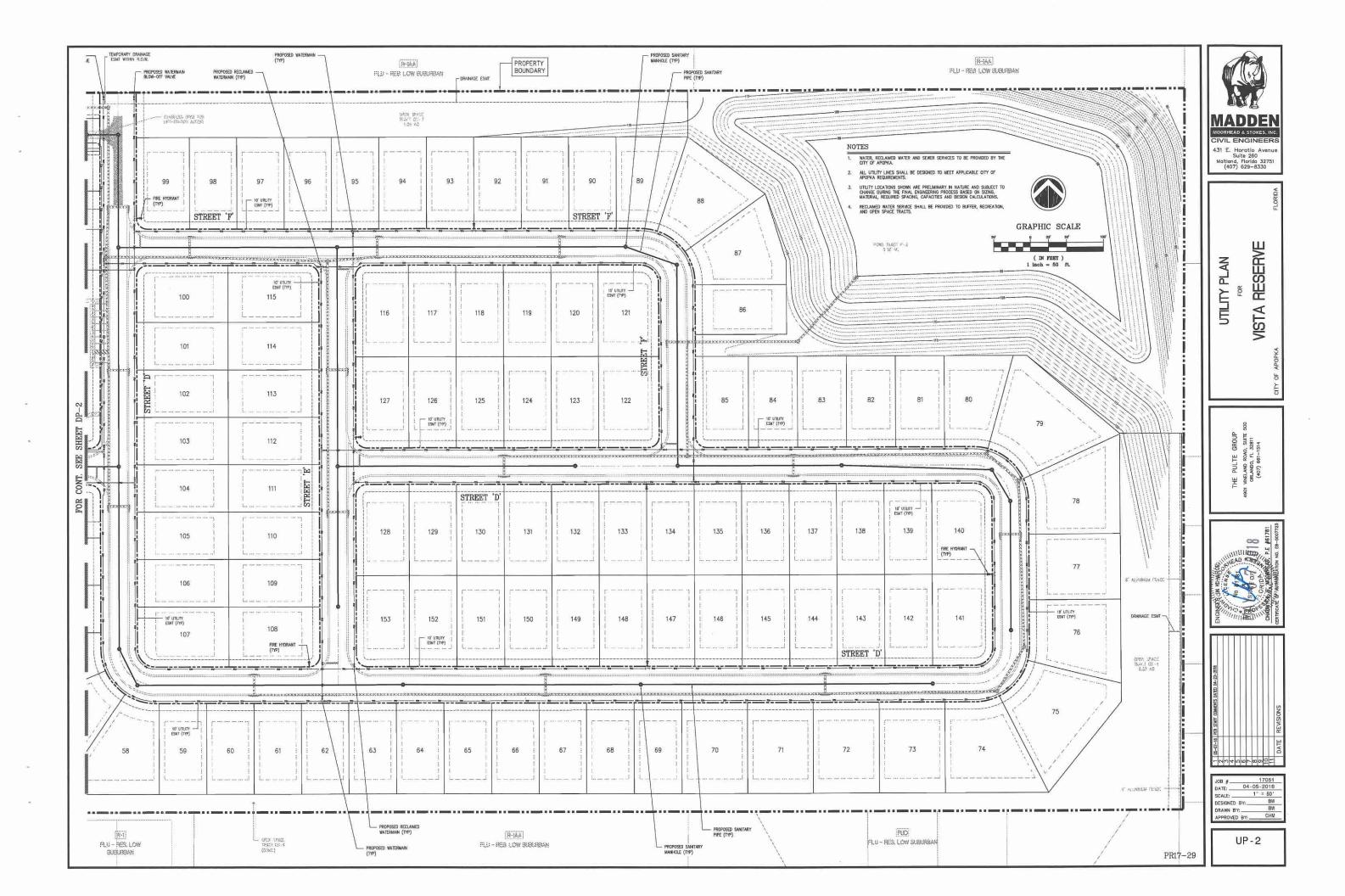


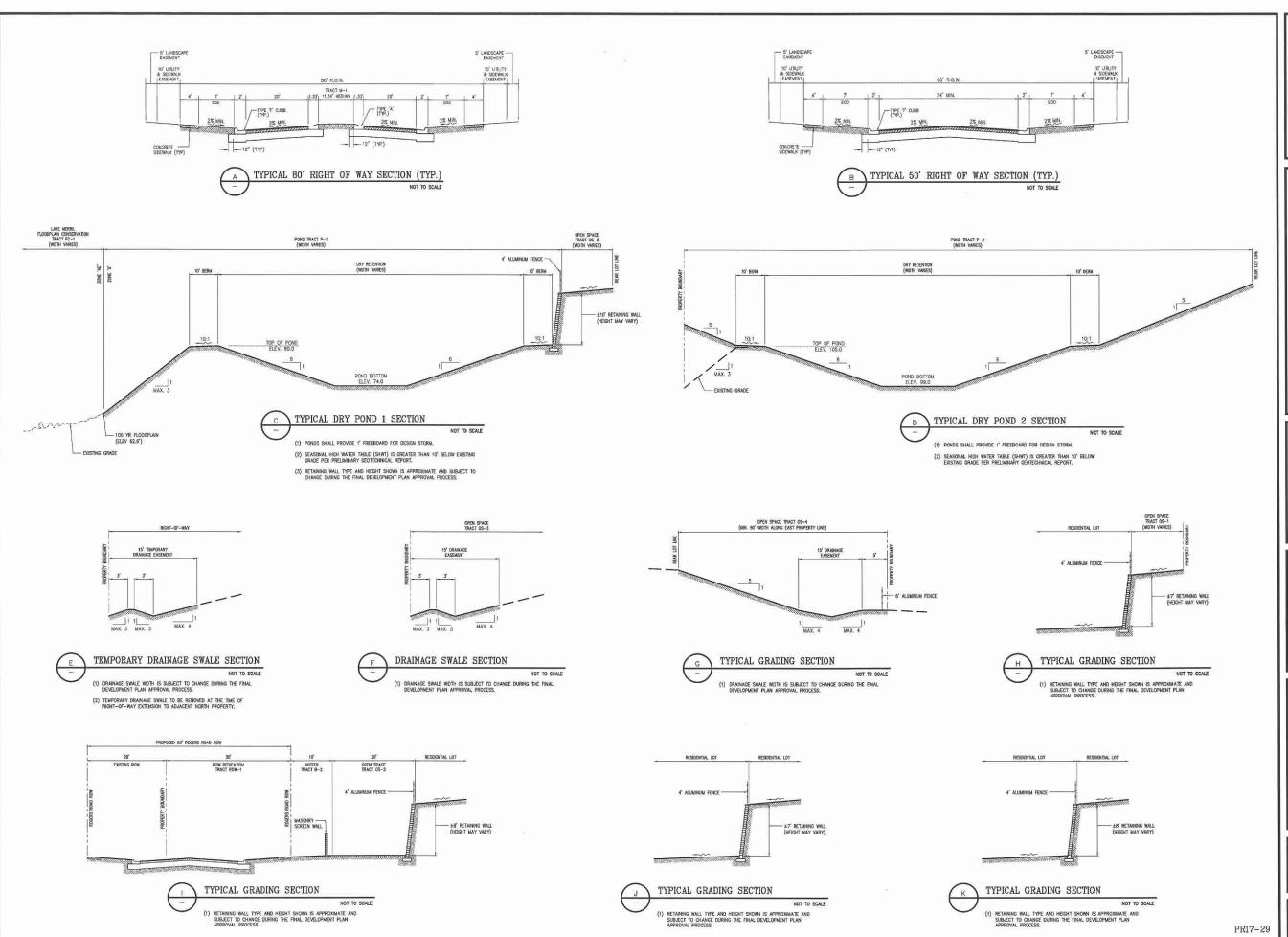














MOORHEAD & STOKES, INC. 431 E. Horatio Avenue Suite 260 Maitland, Florida 32751 (407) 629-8330

SECTIONS VISTA RESERVE

TYPICAL

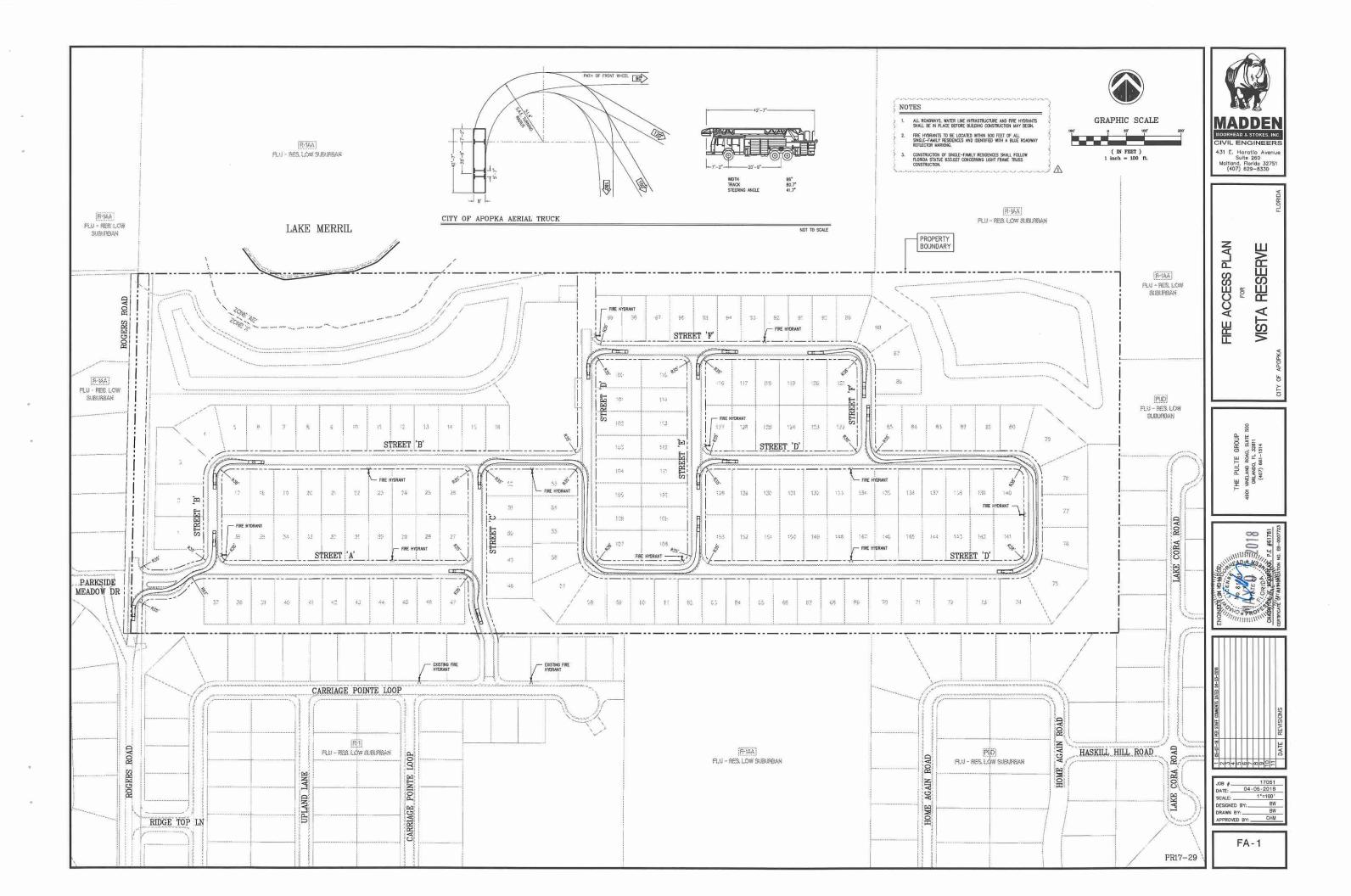
GROUP b, suite : 32811 1514 THE PULTE GF
VINELAND ROAD,
ORLANDO, FL 32
(407) 661-151





JOB #	17051
	5-2018
SCALE:	NTS
DESIGNED BY:	BW
DRAWN BY:	BW
APPROVED BY:	CHM

TS-1



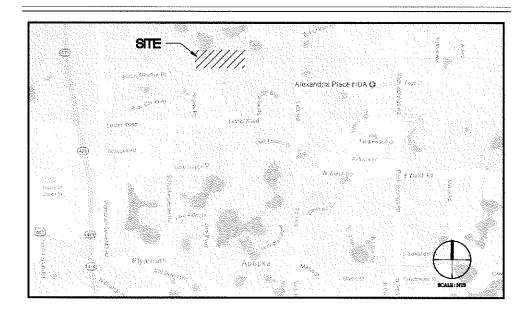
VISTA RESERVE

CITY OF APOPKA, FLORIDA

LANDSCAPE ARCHITECTURAL DRAWINGS PRELIMINARY DEVELOPMENT PLAN

ISSUED FOR PERMIT - 04.05.18 REVISED: 04.30.18

VICINITY MAP



INDEX OF DRAWINGS

SHT. NO.	ISSUE DATE	REV. NO.	REV. DATE	SHEET TITLE
LP-001	04/05/18			KEY PLAN
LP-002	04/05/18			TREE MITIGATION PLAN
LP003	04/05/18			TREE MITIGATION PLAN
LP004	04/05/18			TREE MITIGATION PLAN
LP-005	04/27/18	1	04.30.18	RECREATION/OPEN SPACE PLAN
LP-100	04/05/18	f	04.30.18	LANDSCAPE PLAN
LP-101	04/05/18	1	04.30.18	LANDSCAPE PLAN
LP-102	04/05/18	1	04.30.18	LANDSCAPE PLAN
LP-103	D4/05/18	1	04.30.18	LANDSCAPE PLAN
LP-104	04/05/18	1	04.30.18	LANDSCAPE PLAN
LP-105	04/05/18	1	04.30.18	LANDSCAPE NOTES & DETAILS
LP-200	04/05/18	1	04.30.18	HARDSCAPE DETAILS
LP-201	04/05/18	ſ	04.30.18	HARDSCAPE IMAGES
LP-300	04/05/18	t	04.30.18	IRRIGATION PLAN
LP-301	04/05/18			IRRIGATION PLAN
LP-302	04/05/18			IRRIGATION PLAN
LP-303	04/05/18			IRRIGATION PLAN
LP-304	04/05/18	1	04.30.18	IRRIGATION PLAN
LP305	04/05/18	1	04.30.18	IRRIGATION NOTES AND DETAILS
LP306	04/05/18			IRRIGATION DETAILS
LP-307	04/05/18			IRRIGATION DETAILS
LP-308	04/05/18			IRRIGATION DETAILS

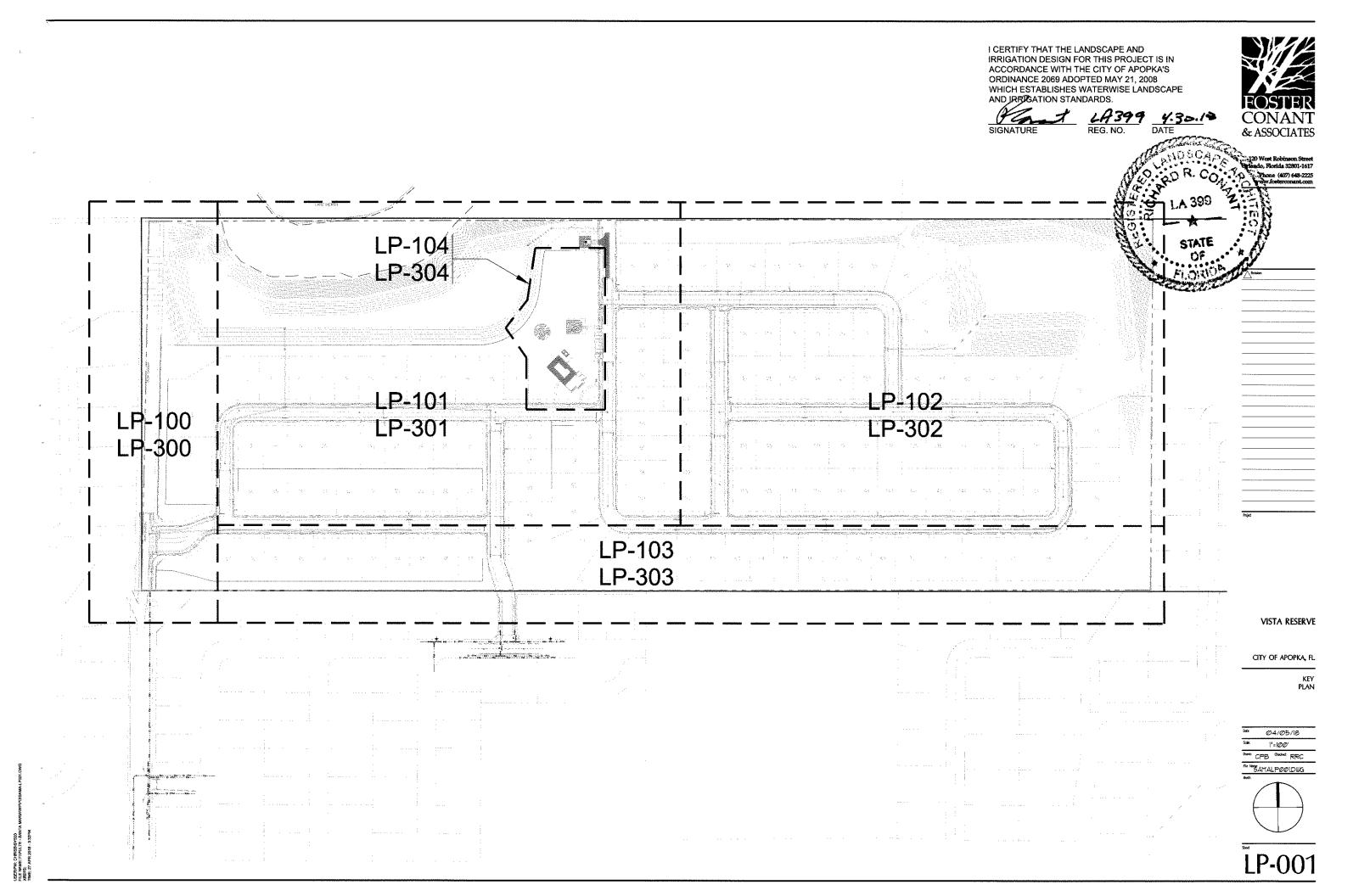


I CERTIFY THAT THE LA DESIGN FOR THIS PROJECT OF APOPKA'S MAY 21, 2008 WHICH ES ANDSCAPE AND IRRIGUES SIGNATURE

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION
DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH
THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED
MAY 21, 2008 WHICH ESTABLISHES WATERWISE
ANDSCAPE AND IRRIGATION STANDARDS.

LA 399 REG. NO.

7 4.30./8 DATE



120 West Robinson Street Orlando, Florida 32801-1617 TREE MITIGATION PLAN 1'=60' SOURT CIPB DIMME RRC I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAP AND IRRIGATION STANDARDS.

CONANT & ASSOCIATES

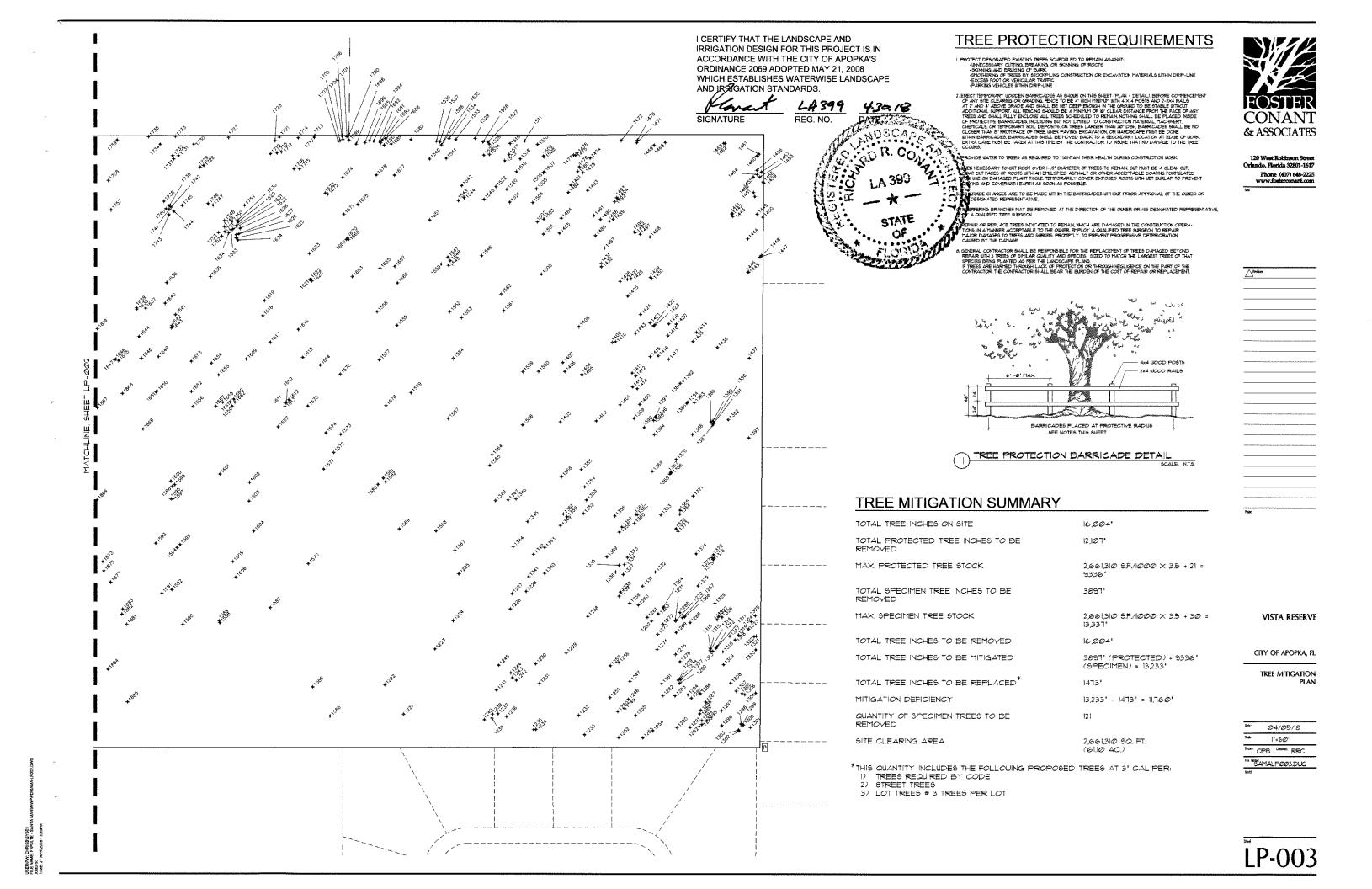
Phone (407) 648-2225 www.fosterconant.com

VISTA RESERVE

CITY OF APOPKA, FL

04/05/18

SAMALP002DUG



	NT TABLE
POINT NUMBER 680	
686	16" OAK
687 692	10" OAK 7" OAK
693 694	13/8" OAK
695	12 UAK 15/15" OAK 10/10" OAK 15" OAK
697 698	10/10" OAK 15" OAK
699 700	O" OAK
701	8/7/6 OAK 19/17/16/12/11 OAK
702 703	22" OAK
704	24/17" OAK 11/9" OAK 31" OAK
705 708	
712 713	17/15" OAK
714	12° PALM
715 716	12" PALM
718 719	8" OAK 36/21" OAK
721	14" PINE
723 724	Z5 OAK
725 726	48" OAK
727	11" OAK 19" OAK
728 730	11" OAK 19" OAK 13" PINE 6" PINE
731	12 (11 (11 06)
732 733	8° OAK 11° OAK
734 735	9" DAK
736	8" OAK 10" OAK
737 739	15" PINE 26" OAK
740 741	9" OAK
742	13" OAK 9" OAK 11" OAK
743 745	
747 748	18" OAK
749	
750 751	11" QAK 15/9" QAK 14/12" QAK
752	14/12" OAK
754 755	11" OAK 15" PINE
756 757	15" OAK 8" OAK
759	6" OAK 8" OAK
760 761	8° OAK 6" OAK
763	20" OAK
764 765	20" OAK 6" OAK 11/6" OAK 9" OAK
766 768	715 044
769	5" OAK
770 771	7" OAK
772 773	9" OAK 14/10/10/10/10/8" OAK
774 775	8" OAK 6" OAK
776	12" OAK
777 778	11" OAK 10" OAK
779	7" QAK
781 782	
783 784	36" OAK
785	9" OAK
786 787	12 OAK 9" OAK 34/31" OAK 8" OAK
788 790	33/21 OAK
791	0 (0" 0 40
792 793	7" OAK
794 796	24" OAK 16" OAK
797	10/7/6" OAK
1221 1222	21" OAK
1223	27" OAK
1224 1225	22/10" OAK 21" OAK 24/10" DAK
1226 1227	24710 044
1228	14° OAK
1229 1230	15" OAK 15/10" DAK
1231 1232	13" OAK
1233 1234	ACT DAY
1235	18" OAK 18" OAK 13/10" OAK
1236 1237	0" Date
1238	8" OAK
1239 1240	27/9" OAK
1241 1242	15" OAK
1243	17" OAK
1244 1245	14" OAK 14" OAK
1247	12" OAK
1248 1249	19" OAK 11" OAK
1250 1251	11" OAK 12" OAK
1252	13/12/11/8 OAK
1253	13/12/11/8" OAK 18" OAK 14/14" OAK 7" OAK
1254	
1254 1255	
1254 1255 1256 1257	12/9/8" DAK 9" OAK
1254 1255 1256 1257 1258	12/9/8" DAK 9" OAK 22" OAK
1254 1255 1256 1257	12/9/8" DAK 9" OAK

1254 1255 1266	23" OAK 11" OAK 13/8" OAK
1267	9" OAK
1268 1269	8/8" OAK 9/8" OAK
1270 1271	7" OAK 7" OAK
1272 1273	13" OAK 6" OAK
1274	
1275 1276	16/11" OAK 18" OAK 35" OAK
1277 1278	11" OAK
1279 1280	8" OAK
12Bt	6" OAK 8" OAK
1282 1283	8" OAK 10" OAK 15/12" OAK 9" OAK 8/8" DAK
1284 1285	15/12° OAK 9" OAK 8/8" OAK 11" OAK
1286 1287	11" DAK 11" DAK
1288	13" OAK
1289 1290	13" OAK 6" OAK 13" OAK 14" OAK
1291	14" OAK 9" OAK 15" OAK
1293 1294	
1295 1296	10" OAK 10" OAK 12/8" OAK 12/8/6" OAK
1297	12/8" OAK 12/8/6" OAK 12/10/8" OAK
1298 1299	12/10/8" OAK 16" OAK
1300 1301	16" OAK 7/6" OAK 7/6" OAK
1302 1303	8" OAK
1304	8" OAK 6" OAK 11/10/10" OAK
1305 1306	12" OAK 25" OAK
1307 1308	12" OAK 25" OAK 16/7" OAK 14/12" OAK
1309	13" OAK 18" OAK
t 310 1311	7 080
1312 1313	
1314 1315	
1316	7" OAK
1318	15" OAK 13" OAK 20" OAK
1319 1320	20" OAK 20" OAK
1321 1322	20" OAK 11" OAK 10" OAK
1323	
1324 1325	9" OAK 27" DAK 13/12" OAK 10" OAK
1326 1327	10" OAK 10" OAK
1328 1329	13/12" OAK 10" OAK 10" OAK 14/11" OAK 6" OAK
1331	
1332 1333	19" OAK 14" OAK 11" DAK
1334 1335	14" OAK
1336 1337	18" QAK 11" QAK
1338 1339	20" GAK 10" OAK
1340	
1341 1342	25" OAK 26" OAK
1343 1344	22 OAK
1345	13" PAEM 7" OAK 17/8" OAK
1346 1347	17/8" OAK 14" OAK
1348 1349	21" OAK
1350	22" OAK
1352	18" OAK
1353 1354	19" OAK 17/12" OAK
1355 1356	24/6" OAK 15/14" OAK
1357	14" QAK 15" QAK 15" QAK
1358 1359	I J UAK
1728	12" OAK
1360 1361	. 19" OAK
1360 1361 1362 1363	. 19" OAK
1360 1361 1362 1363 1364	19" OAK 12/10" OAK 10" OAK 30" OAK 24/20" OAK
1360 1361 1362 1363 1364 1365 1366	19" OAK 12/10" OAK 10" OAK 30" OAK 24/20" OAK 9" OAK
1360 1361 1362 1363 1364 1365 1366 1367	19" OAK 12/10" OAK 10" OAK 30" OAK 24/20" OAK 9" OAK 8" OAK
1360 1361 1362 1363 1364 1365 1366 1367 1368 1368 1370	19" OAK 12/10" OAK 10" OAK 30" OAK 24/20" OAK 9" OAK 8" OAK 11" OAK 5" OAK
1360 1361 1362 1363 1364 1365 1366 1367 1368 1368 1369 5370	19" OAK 12/10" OAK 10" OAK 30" OAK 24/20" OAK 8" OAK 11" OAK 11" OAK 6" OAK 13/15" OAK
1360 1361 1362 1363 1364 1365 1366 1367 1368 1370 1371 1371 1372	19" OAK 12/70" OAK 10" OAK 10" OAK 30" OAK 24/20" OAK 8" OAK 11" OAK 6" OAK 11" OAK 137/3" OAK 137/3" OAK 13" OAK
1360 1361 1362 1363 1364 1365 1366 1367 1369 1370 1371 1371 1372 1373 1374	19" OAK 12/10' OAK 10", OAK 10", OAK 30" OAK 24/20" OAK 8" OAK 11" OAK 6" OAK 11" OAK 13" OAK
1360 1361 1362 1362 1363 1364 1365 1366 1367 1368 1370 1371 1372 1372 1373 1374 1375	19" OAK 12/10" OAK 10" OAK 30" OAK 24/20" OAK 9" OAK 8" OAK 11" OAK 11" OAK 13/13" OAK 13" OAK 12" OAK 13" OAK 12" OAK
1360 1361 1362 1363 1364 1365 1366 1367 1368 1369 1370 1371 1372 1373 1374 1375 1376	19" OAK 12/70" OAK 10" OAK 10" OAK 30" OAK 24/20" OAK 8" OAK 11" OAK 6" OAK 11" OAK 11" OAK 13/13" OAK 13" OAK 20" OAK 21/17" OAK 31" OAK 21" OAK 31" OAK 31" OAK 31" OAK 31" OAK 31" OAK 31" OAK
1360 1361 1362 1363 1364 1365 1366 1367 1366 1369 1370 1370 1371 1372 1373 1374 1375 1376 1377	19" OAK 12/70" OAK 10" OAK 10" OAK 30" OAK 24/20" OAK 8" OAK 11" OAK 6" OAK 11" OAK 11" OAK 13/13" OAK 13" OAK 20" OAK 21/17" OAK 31" OAK 21" OAK 31" OAK 31" OAK 31" OAK 31" OAK 31" OAK 31" OAK
1360 1361 1362 1363 1363 1365 1365 1366 1367 1368 1369 1370 1371 1372 1373 1374 1375 1376 1377 1377 1378 1378 1378	19" OAK 12/70" OAK 10" OAK 10" OAK 30" OAK 24/20" OAK 8" OAK 11" OAK 6" OAK 11" OAK 11" OAK 13/13" OAK 137/3" OAK 13" OAK 14" OAK 13" OAK
1360 1361 1362 1363 1363 1364 1365 1366 1367 1368 1369 1370 1371 1372 1372 1373 1374 1375 1376 1377 1378 1378 1378 1378 1378 1378 1378	19" OAK 12/70" OAK 10" OAK 10" OAK 30" OAK 24/20" OAK 8" OAK 11" OAK 5" OAK 11" OAK 13" OAK 14" OAK 15" OAK 15" OAK 16" OAK 18" OAK
1360 1361 1362 1363 1363 1365 1366 1367 1368 1368 1369 1370 1371 1372 1372 1373 1374 1375 1376 1377 1377 1378 1378 1378 1378 1378 1378	19" OAK 12/70" OAK 10", OAK 10", OAK 20" OAK 24/20" OAK 8" OAK 11" OAK 6" OAK 11" OAK 13" OAK 14" OAK 15" OAK 15" OAK 15" OAK 15" OAK 16" OAK 16" OAK 16" OAK 17" OAK 18" OAK 18" OAK 18" OAK 18" OAK 19" OAK
1360 1361 1361 1362 1363 1365 1365 1365 1366 1367 1368 1370 1371 1372 1373 1374 1375 1376 1376 1376 1376 1376 1376 1376 1377 1378 1378 1378 1378 1378 1378 1378	19" OAK 12/70" OAK 10" OAK 10" OAK 10" OAK 24/20" OAK 8" OAK 11" OAK 6" OAK 11" OAK 13" OAK 14" OAK 14" OAK 15" OAK
1360 1361 1362 1363 1365 1365 1366 1367 1368 1368 1369 1370 1370 1372 1372 1373 1374 1375 1376 1377 1378 1378 1378 1378 1378 1378 1378	19" OAK 12/70" OAK 10" OAK 10" OAK 24/20" OAK 8" OAK 8" OAK 11" OAK 6" OAK 11" OAK 11" OAK 13/13" OAK 13" OAK 12" OAK 12" OAK 12" OAK 13" OAK 13" OAK 13" OAK 13" OAK 13" OAK 13" OAK 12" OAK 13" OAK 14" OAK 15" OAK 16" OAK 16" OAK 17" OAK 18" OAK 19" OAK 19" OAK 19" OAK 10" OAK
1360 1361 1361 1362 1363 1364 1365 1365 1365 1366 1367 1368 1370 1371 1372 1373 1374 1375 1376 1378 1378 1378 1378 1378 1378 1378 1378	19" OAK 12/70" OAK 12/70" OAK 10" OAK 24/20" OAK 8" OAK 8" OAK 11" OAK 6" OAK 11" OAK 13/13" OAK 137" OAK 137" OAK 13" OAK 14" OAK 15" OAK
1360 1361 1361 1362 1363 1364 1365 1365 1365 1366 1367 1368 1370 1371 1372 1373 1374 1375 1376 1378 1378 1378 1378 1378 1378 1378 1378	19" OAK 12/70" OAK 12/70" OAK 10" OAK 24/20" OAK 8" OAK 8" OAK 11" OAK 6" OAK 11" OAK 13" OAK 14" OAK 14" OAK 12" OAK 12" OAK 12" OAK 12" OAK 12" OAK 12" OAK 13" OAK 13" OAK 14" OAK 15" OAK 14" OAK 15" OAK
1360 1361 1362 1363 1364 1365 1365 1366 1366 1369 1370 1371 1372 1373 1374 1375 1376 1377 1378 1378 1378 1378 1378 1378 1378	19" OAK 12/70" OAK 12/70" OAK 10" OAK 24/20" OAK 8" OAK 8" OAK 11" OAK 11" OAK 11" OAK 13/13" OAK 13" OAK 12" OAK 12" OAK 13" OAK 20" OAK 12" OAK 13" OAK 13" OAK 13" OAK 13" OAK 13" OAK 11" OAK 12" OAK 11" OAK 11" OAK 12" OAK 11" OAK
1360 1361 1362 1363 1364 1365 1365 1366 1367 1368 1368 1370 1370 1371 1372 1373 1374 1375 1376 1377 1378 1378 1378 1378 1378 1378 1378	19" OAK 12/70" OAK 12/70" OAK 10" OAK 24/20" OAK 8" OAK 8" OAK 11" OAK 11" OAK 11" OAK 13" OAK 11" OAK 13" OAK 12" OAK 13" OAK 11" OAK 11" OAK 11" OAK 11" OAK 12" OAK 10" OAK 11" OAK 11" OAK 12" OAK 11" OAK 12" OAK 13" OAK 13" OAK 13" OAK 14" OAK 15" OAK

OAK OAK	1400 1401	8" OAK
B" OAK	1402	9/2" NAK
DAK DAK	1403 1404	19/1/ 0/0
DAK AK	1405 1406	9" OAK 21" OAK
AK	14D7 1408	74 PALIE
AK	1409	19" OAK 8/6" OAK
OAK OAK	1410 1411	9" OAK 7" OAK
AK	1412	16/13/11" OAF
AK .	1414	15" OAK
AK AK	3415 1416	11/9/7" OAK 5" OAK 23" OAK
AK DAK	1417	23" OAK 13/10" OAK
OAK	1419 1420	13/10" OAK 14/10" OAK
DAK	1421	14/10" OAK 18" OAK 16" OAK 15" OAK
JAK DAK	1422 1423	15" OAK 7" OAK 18/7" OAK
DAK DAK DAK	1424 1425	18/7" OAK 11" OAK 15" OAK
DAK DAK	1426 1427	15" OAK 11" OAK
AK	1428	9" OAK
AK AK	1429	11" OAK 12" DAK
DAK DAK	1431 1432	12" OAK 10" OAK 16" OAK
OAK	1433	14" DAK
OAK OAK	1434 1435	17" DAK
OAK OAK	1436 1437	26/18/15" OAI
AK AK	1441	9/8" OAK
AK)" OAK	1442 1443	10/9" OAK 8" OAK
2014	1444 1445	8" OAK 17" OAK 9" OAK 6" OAK
DAK DAK	1446	6" OAK
DAK	1447 1448	6/5" DAK 8" OAK
DAK DAK	1449 1450	12/10/10/8" 0
AK AK	1451 1452	6" OAK 9" OAK
OAK AK AK	1453	9" OAK 17" OAK 7/6" OAK 7" OAK
ALC.	1454 1455	
AK AK	1456 1457	15" OAK
AK	1458	7 OAK
AK.	1459 1460	10" OAK
AK AK	1461 1462	7" OAK 6" OAK
IAK	1463 1468	15" OAK 14" OAK
OAK AK	1469	16" OAK
OAK OAK	1470 1471	9" OAK 13" OAK
AK	1472 1474	13" OAK 24" OAK 12/6" OAK
AK	1475	20" OAK 8" OAK
DAK	1476 1477	8" DAK 10/9" OAK
DAK DAK	1478	9° DAK 14° OAK
	1480 1481	17" OAK
)AK	1482	8" DAK 14" OAK
OAK DAK	1483 1484	15/8" OAK 14" OAK 11" OAK
NAME .	1485	13/11" OAK
ALM AK	1487 1488	14" OAK 16" OAK
OAK	1489	10" OAK
AK AK	1490 1491	10/6" OAK
DAK DAK	1492 1493	17" OAK 9" OAK 10" OAK
DAK	1494 1495	10" OAK
OAK JAK	1496	14" PALM 7" OAK
OAK OAK OAK	1497 1498	13" OAK 18" OAK 18" OAK
OAK	1500 1501	12/11/7" OAH
OAK AK AK	1502	18" OAK 21" OAK
IAK .	1503 1504	20" OAK 21 OAK
OAK OAK	1505 1506	16" OAK 22" OAK
AK OAK	1507 1508	9" OAK
AK AK	1509	9" OAK
AK	1510 1511	15" OAK 14" OAK 16" OAK
AK.	1516 1517	16" OAK 10" OAK
	1518 1519	10/8" OAK 11" OAK
AK AK AK	1520	11" OAK 15" OAK 8" OAK
OAK	1521 1522	8" OAK 14/12" OAK 14/10" OAK
JAK JAK	1523 1524	14/10" OAK
AK JAK	1525	7" OAK 19" OAK
	1526 1527	7" DAK 16" OAK 21" OAK
AK	1528 1529	
	1533	8/7" OAK 12" OAK
AK AK	1534 1535	11" OAK
AK AK	1536 1537	13/6" OAK 13" OAK
AK AK	1539 1540	9" 04"
OAK AK	1541	24" OAK 12/8" OAK
AK	1542 1543	20" OAK 28" OAK
K .	1544 1545	8/6" OAK
	1546	18" OAK
K.	1547 1548	9" OAK 9" OAK 24" OAK
DAK	1549	24" OAK 11" OAK

1551	
1552	24" OAK 42" OAK 19" OAK
1553 1554	32" Ask
1555 1556	16" OAK
1557	27" OAK
155B 1559	11" OAK
1560	26" OAK 19/16" OAK
1561 1562	22" OAK 17" OAK
1564 1565	27° OAK
1566	26" OAK 21" OAK 16" OAK
1567 1568	16" 01:44
1569	32" OAK
1570 1571	32" OAK 34" OAK 18" OAK 25/17" OAK 34" OAK
1572 1573	26/17" OAK
1574	
1575 1576	16" OAK 24" OAK
1577 1578	41^ OAK
1579	29/7" OAK 25" OAK
1580 1581	22" DAK
1582	7" OAK
1585 1586	CLUSTER" DAK 15" OAK
1587 1588	14/12" OAK
1589	15" PALM 14" PALM 17" OAK
1590 1591	21" OAK
1592	00° 048
1593 1594	Z/ OAK
1595 1596	18"_OAK
1597	19 OAK
1598 1599	32 UAK 15" OAK 9/8/7" OAK 20" OAK
1600	20" OAK 28" OAK
1601 1602	20712" OAK
1603 1604	25/12" OAK 24/18" OAK
1605	30" OAK
1606	23" OAK 37" OAK
1609 1610	26 OAK
1611	17" OAK
1612 1613	12" OAK 15" OAK
1614	
1615 1616	22/11" DAK 22/9" DAK
1617 1618	24" OAK 22/11" OAK 22/9" OAK 25/7" OAK 27" OAK
1619	
1620	14° OAK 20" OAK 14/10° OAK
1622	9" OAK
1623 1624	32/21" DAK 7" OAK
1625	8" OAK
1626 1627	9" OAK 9" OAK
1628 1529	/ VAN
1630 1631	B" DAK
1632	8" OAK 13" OAK
1633 1634	10" OAK 11" PINE
1635	39" DAK
1636 1637	14/12" OAK 13" OAK
1638	
	18" OAK
1639 1640	16" OAK
1639 1640 1641	16 OAK 16 OAK 14/9 OAK 30 OAK
1639 1640 1641 1642 1643	16 OAK 16 OAK 14/9 OAK 30 OAK
1639 1640 1647 1642 1643 1644 1645	16 OAK 16" OAK 14/9" OAK 30" OAK 13" OAK 27" OAK 16/15" OAK
1639 1640 1647 1642 1643 1644 1645	16 OAK 16 OAK 14/9" OAK 30 OAK 13" OAK 27" OAK 16/15" OAK 13" OAK 26" OAK
1639 1640 1642 1642 1643 1644 1645 1646 1647 1648	16 OAK 16 OAK 14/9" OAK 30" OAK 13" OAK 27" OAK 15" OAK 15" OAK 15" OAK 15" OAK 26" OAK 15" OAK 26" OAK
1639 1640 1641 1642 1643 1644 1645 1646 1647 1648	16 OAK 14/9" OAK 14/9" OAK 30" OAK 13" OAK 27" OAK 15" OAK 26" OAK 15" OAK 26" OAK 26" OAK 26" OAK
1639 1640 1642 1642 1643 1644 1645 1646 1647 1648 1649 1650 1651	16. OAK 14/9° OAK 30° OAK 13° OAK 13° OAK 12° OAK 16/15° OAK 26° OAK 26° OAK 24° OAK 25° OAK 25° OAK 24° OAK 25° OAK
1639 1640 1641 1642 1643 1644 1645 1646 1647 1648 1649 1650 1651 1652	16 OAK 14/9 OAK 14/9 OAK 30 OAK 13 OAK 13 OAK 15 OAK 16/15 OAK 27 OAK 16/15 OAK 26 OAK 15 OAK 24 OAK 27 OAK 27 OAK 30 OAK 30 OAK 30 OAK 31 OAK 31 OAK 32 OAK 32 OAK 33 OAK 34 OAK 35 OAK 35 OAK
1639 1640 1641 1642 1643 1644 1645 1646 1647 1649 1650 1651 1652 1653	16. OAK 14/9º OAK 14/9º OAK 13° OAK 13° OAK 13° OAK 22° OAK 13° OAK 22° OAK 15° OAK 25° OAK 15° OAK 25° OAK 15° OAK 26° OAK 26° OAK 26° OAK 27° OAK 27° OAK 28° OAK
1639 1640 1641 1642 1643 1644 1645 1646 1647 1649 1650 1651 1652 1653 1654 1655	16. OAK 14/9' OAK 14/9' OAK 13' OAK 13' OAK 13' OAK 27' OAK 13' OAK 28' OAK 28' OAK 28' OAK 28' OAK 24' OAK 24' OAK 24' OAK 27' OAK 21' OAK 30' OAK 30' OAK 30' OAK 30' OAK
16.39 1640 1641 1642 1643 1644 1645 1645 1646 1647 1648 1650 1650 1651 1652 1653 1654	16. ORK 114/8' OAK 114/8' OAK 30. ORK 13' OAK 27' OAK 13' OAK 26' OAK 26' OAK 24' OAK 24' OAK 27' OAK 28' OAK 28' OAK 15' OAK
18.39 1640 1641 1642 1643 1644 1645 1645 1646 1646 1649 1650 1651 1652 1653 1654 1655 1655 1656 1657	16 OAK 11-78 OAK 11-78 OAK 13-70 OAK 13 OAK 13 OAK 13 OAK 14 OAK 15 OAK 16 OAK 17 OAK 18 OAK
1839 1640 1641 1642 1642 1643 1644 1645 1646 1646 1649 1650 1651 1651 1652 1653 1655 1655 1656 1656 1656 1656 1656	16. ORK 114/8' OAK 114/8' OAK 30. ORK 13' OAK 13' OAK 27' OAK 13' OAK 26' OAK 26' OAK 27' OAK 28' OAK 15' OAK 15' OAK 28' OAK 15' OAK 16' OAK 16' OAK
1839 1640 1641 1641 1642 1643 1644 1645 1646 1647 1648 1650 1651 1652 1653 1654 1655 1656 1657 1656 1656 1650 1650 1650 1650 1650	16. ORK 114/9' OAK 114/9' OAK 130 OBK 131' OAK 131' OAK 127' OAK 131' OAK 26' OAK 26' OAK 27' OAK 26' OAK 27' OAK 28' OAK 28' OAK 28' OAK 28' OAK 28' OAK 15' OAK 28' OAK 15' OAK 15' OAK 36' OAK 36' OAK 37' OAK 36' OAK
1839 1640 1641 1641 1642 1643 1644 1645 1645 1646 1657 1668 1659 1651 1656 1656 1656 1650 1661 1662	16. ORK 16. ORK 14/9' OAK 13' OAK 13' OAK 13' OAK 27' OAK 13' OAK 26' OAK 26' OAK 26' OAK 27' OAK 28' OAK 28' OAK 29' OAK 21' OAK 30' OAK 30' OAK 30' OAK 30' OAK 31' OAK
1839 1640 1641 1642 1642 1643 1644 1644 1645 1644 1645 1646 1647 1648 1650 1650 1650 1655 1656 1656 1656 1656	16. OAK 114/8" OAK 114/8" OAK 130 OAK 131 OAK 131 OAK 127 OAK 131 OAK 267 OAK 131 OAK 267 OAK 141 OAK 267 OAK 147 OAK 147 OAK 147 OAK 147 OAK 147 OAK 148 OAK 159 OAK
16.39 1640 1641 1642 1642 1643 1644 1644 1645 1645 1646 1647 1648 1650 1650 1651 1651 1656 1656 1656 1661 1663	18 OAK 11-78 OAK 11-78 OAK 13 OAK 13 OAK 13 OAK 22 OAK 13 OAK 25 OAK 15 OAK 26 OAK 27 OAK 28 OAK 29 OAK 29 OAK 29 OAK 20 OAK 21 OAK 29 OAK 20 OAK 20 OAK 20 OAK 20 OAK 21 OAK 21 OAK 22 OAK 23 OAK 24 OAK 25 OAK 26 OAK 27 OAK 27 OAK 28 OAK 28 OAK 29 OAK 29 OAK 20 OAK 20 OAK 20 OAK 20 OAK 21 OAK 22 OAK 23 OAK 25 OAK 26 OAK 27 OAK 27 OAK 27 OAK 27 OAK 28 OAK
1639 1640 1641 1642 1642 1643 1644 1645 1645 1646 1647 1646 1657 1656 1657 1656 1656 1656 16663 1665	16 OAK 16 OAK 114/9 OAK 30 OAK 30 OAK 13 OAK 13 OAK 13 OAK 12 OAK 16/15 OAK 13 OAK 26 OAK 15 OAK 26 OAK 15 OAK 27 OAK 15 OAK 27 OAK 15 OAK 28 OAK 17 OAK 17 OAK 17 OAK 18 OAK 18 OAK 18 OAK 18 OAK 36 OAK 18 OAK 37 OAK 18 OAK 37 OAK
1839 1640 1641 1642 1642 1643 1644 1645 1645 1646 1647 1647 1649 1650 1651 1652 1653 1654 1655 1656 1656 1657 1658 1656 1667 1668 1667	16. OAK 16. OAK 14./9' OAK 14./9' OAK 13" OAK 13" OAK 15" OAK 16./15" OAK 26" OAK 15" OAK 26" OAK 24" OAK 15" OAK 25" OAK 15" OAK 25" OAK 17" OAK 15./11/6" OAK 12/2" OAK 15./11/6" OAK 15./11/6" OAK 15./11/6" OAK 15./11/6" OAK 15./11/6" OAK 15./11/6" OAK 15. OAK 16" OAK 16" OAK 16" OAK 16" OAK 16" OAK 15" OAK
1839 1640 1641 1641 1642 1643 1644 1645 1645 1646 1647 1647 1649 1650 1651 1652 1653 1654 1655 1656 1656 1657 1656 1666 1661 1667 1668	16 OAK 16 OAK 14/9' OAK 14/9' OAK 13' OAK 13' OAK 13' OAK 15' OAK 16/15' OAK 26' OAK 25' OAK 24' OAK 25' OAK 17' OAK 25' OAK 17' OAK 30' OAK 30' OAK 12/9' OAK 50' OAK
16.39 16.40 16.41 16.42 16.42 16.42 16.43 16.44 16.45 16.46 16.46 16.46 16.46 16.50 16.50 16.51 16.52 16.53 16.54 16.55 16.56 16.56 16.56 16.56 16.56 16.56 16.56 16.57 16.56 16.56 16.57 16.56 16.56 16.57 16.56 16.57 16.56 16.57 16.56 16.57 16.56 16.57 16.56 16.57 16.56 16.57 16.56 16.57 16.56 16.57 16.57 16.57 16.58	16 OAK 16 OAK 114/9 OAK 30 OAK 30 OAK 13 OAK 14 OAK 15 OAK 17 OAK 17 OAK 17 OAK 17 OAK 18 OAK 16 OAK 16 OAK 16 OAK 16 OAK 17 OAK 17 OAK 18 OAK 18 OAK 18 OAK 18 OAK 18 OAK 18 OAK 16 OAK 16 OAK 16 OAK 16 OAK 17 OAK 17 OAK 17 OAK 17 OAK 18 OAK
16.39 16.40 16.41 16.42 16.42 16.42 16.43 16.44 16.45 16.45 16.46 16.46 16.46 16.50 16.50 16.51 16.52 16.53 16.54 16.55 16.56 16.57 16.56 16.56 16.57 16.56 16.57 16.56 16.57 16.56 16.57 16.56 16.57 16.56 16.57 16.56 16.57 16.56 16.57 16.57 16.58	16 OAK 16 OAK 14/9' OAK 30 OAK 13' OAK 13' OAK 13' OAK 13' OAK 13' OAK 15' OAK 15' OAK 26' OAK 15' OAK 26' OAK 15' OAK 26' OAK 15' OAK 26' OAK 17' OAK 26' OAK 17' OAK 30' OAK 12' OAK 30' OAK 12' OAK 30' OAK 12' OAK 30' OAK 11' OAK 30' OAK 11' OAK 30' OAK
1839 1640 1641 1642 1642 1643 1644 1645 1645 1646 1647 1646 1657 1656 1657 1656 1657 1656 1667 1667	16 OAK 16 OAK 16 OAK 16 OAK 30 OAK 30 OAK 13 OAK 13 OAK 12 OAK 13 OAK 16 OAK 13 OAK 16 OAK 16 OAK 16 OAK 16 OAK 16 OAK 16 OAK 17 OAK 17 OAK 17 OAK 18 OAK 17 OAK 18 OAK 16 OAK 16 OAK 16 OAK 16 OAK 17 OAK 18 OAK 18 OAK 18 OAK 18 OAK 18 OAK 18 OAK 16 OAK 16 OAK 17 OAK 18 OAK 16 OAK 17 OAK 18 OAK 18 OAK 18 OAK 18 OAK 19
1839 1640 1641 1642 1642 1643 1644 1644 1645 1645 1646 1647 1646 1650 1651 1652 1653 1654 1656 1657 1658 1656 1660 1661 1662 1663 1663 1667 1668	16 OAK 16 OAK 11/9' OAK 11/9' OAK 13' OAK 13' OAK 13' OAK 13' OAK 15' OAK 16/15' OAK 26' OAK 27' OAK 26' OAK 27' OAK 26' OAK 27' OAK 28' OAK 28' OAK 17' OAK 28' OAK 17' OAK 28' OAK 18' OAK 36' OAK 18' OAK 5' OAK 16' OAK 5' OAK 16' OAK 16' OAK 17' OAK 18' OAK
16.39 16.40 16.41 16.42 16.42 16.43 16.44 16.45 16.46 16.47 16.49 16.50 16.50 16.50 16.51 16.52 16.53 16.56 16.50 16.51 16.55 16.56 16.50 16.61 16.62 16.63 16.65 16.66 16.67 16.68 16.69 16.70 16.71 16.72 16.73 16.74 16.75	16 OAK 16 OAK 114/9 OAK 30 OAK 30 OAK 13 OAK 13 OAK 13 OAK 13 OAK 13 OAK 15 OAK 16/15 OAK 16/15 OAK 16/15 OAK 15 OAK 15 OAK 15 OAK 17 OAK 17 OAK 17 OAK 18 OAK 17 OAK 18 OAK 18 OAK 18 OAK 18 OAK 18 OAK 18 OAK 16 OAK 17 OAK 18 OAK 18 OAK 18 OAK 18 OAK 18 OAK 18 OAK 16 OAK 16 OAK 16 OAK 16 OAK 17 OAK 18 OAK 17 OAK 18 OAK
16.39 16.40 16.41 16.42 16.42 16.42 16.43 16.44 16.45 16.46 16.46 16.46 16.46 16.46 16.50 16.51 16.52 16.53 16.54 16.55 16.56 16.51 16.56 16.51 16.52 16.56 16.57 16.56 16.57 16.58 16.59 16.70 16.71 16.72 16.73 16.74 16.75 16.77 16.78 16.78 16.77 16.78 16.78 16.77 16.78 16.78 16.79 16.77 16.77 16.78 16.78 16.79 16.77 16.77 16.78 16.78 16.89 16.89 16.89 16.89 16.89 16.89 16.89 16.89 16.89 16.89 16.89 16.89 16.89 16.89 16.89	16 OAK 16 OAK 114/9' OAK 114/9' OAK 13' OAK 13' OAK 13' OAK 13' OAK 13' OAK 15' OAK 16/15' OAK 15' OAK 26' OAK 15' OAK 15' OAK 15' OAK 15' OAK 17' OAK 12' OAK 17' OAK 16' OAK 16' OAK 16' OAK 11/6' OAK 16' OAK
16.39 16.40 16.41 16.42 16.42 16.43 16.44 16.45 16.46 16.46 16.47 16.46 16.46 16.50 16.51 16.52 16.52 16.53 16.54 16.54 16.54 16.55 16.56 16.57 16.56 16.57 16.57 16.57 16.57 16.78 16.79 16.77 16.78	16 OAK 16 OAK 114/9' OAK 13' OAK 26' OAK 13' OAK 25' OAK 15' OAK 15' OAK 17' OAK 17' OAK 12/9' OAK 16' OAK
1639 1640 1641 1642 1642 1643 1644 1645 1646 1647 1646 1649 1650 1651 1651 1651 1651 1651 1651 1656 1656 1656 1657 1656 1656	16 OAR 16 OAR 114/9' OAK 114/9' OAK 30 OAK 13' OAK 26' OAK 13' OAK 26' OAK 15 OAK 15 OAK 15 OAK 15 OAK 17 OAK 17 OAK 17 OAK 30' OAK 17 OAK 30' OAK 12/8' OAK 16' OAK 36' OAK 16' OAK 36' OAK 16' OAK 36' OAK 16' OAK 36' OAK 16' OAK 17' OAK 18' OAK
1639 1640 1641 1642 1642 1643 1644 1645 1646 1646 1647 1646 1646 1650 1651 1652 1653 1656 1651 1656 1657 1656 1657 1657 1672 1673 1674 1677 1678 1678 1678 1677 1678 1688 1689 1690 1691	16 OAK 16 OAK 11/9 OAK 11/9 OAK 30 OAK 13 OAK 13 OAK 13 OAK 13 OAK 15 OAK 15 OAK 16/15 OAK 15 OAK 26 OAK 15 OAK 27 OAK 26 OAK 15 OAK 27 OAK 28 OAK 28 OAK 28 OAK 17 OAK 28 OAK 17 OAK 18 OAK 19 OAK 19 OAK 15 OAK 17 OAK 18 OAK 17 OAK 18 OAK 17 OAK 18 OAK 17 OAK 18 OAK 17 OAK 18 OAK

170) 1	12" OAK 11" OAK
170)4	14" PALM
170)6	6" OAK
170 171		13" OAK 24" OAK
171 171		9" OAK 7" OAK
17:	15	14/11/10" OAK 17/14/8" OAK
17	17	17/14/8" OAK 12/6" OAK 16/12/9" OAK
17 ⁻	9	16/12/9" OAK 14" OAK
17:	21	12" OAK
172 172	?7	7" OAK 11" PALM 25" OAK
173		25" OAK 12" OAK
17: 17:	30 31	9" OAK 6" OAK
173	52	9" OAK 6" OAK 16/9" OAK 14/14/10" OAK
17. 17.	34	14/14/10" OAK 6" OAK
17. 17.	35 37	14/14/10" OAK 6" OAK 8/8" OAK 8" OAK 6" OAK
17: 17: 17:		6 UAK
17-	10	
17 17	12	9" OAK 8" OAK 8/7" OAK 7" OAK
17- 17-	+3	7" OAK 12" OAK
17-	¥Š	7" OAK 12" OAK 18" OAK
17-	1 7	23" OAK
17- 17-	49	6" OAK 6" OAK
173	50	7" OAK
17:	52	8" OAK
175	i.e	8" OAK 29/7" OAK
17:	56	14" OAK 18/16" OAK
175	58	12 QAK
17: 170	33	10" OAK 9" OAK
176 176	35	8" OAK 9" OAK
171	56	11" OAK
176	58 58	11" OAK
174	70	6" OAK
17	71 72	10" OAK
17	73	9" OAK
17	75	l 6° û≜k
17 17		12" OAK 18" OAK
17 17	79 30	f1" OAK 6" DAK
	81	12" OAK
17	35	12" OAK
171 171	56 57 58	6" DAK 12" OAK
171		5" DAK 22" OAK
171		5" OAK 22" OAK 16/7" OAK 15/11" OAK
17	92	43" OAK
17: 17:	94	13" DAK 6" DAK
17	95	7" OAK
17:	97	7" OAK
17! 17!		7" OAK 11" OAK
18i 18i		10 PINE 11/11" OAK
181	23	37" OAK 17" PALM
18	25	6/6" OAK
18: 18:) 7	27" OAK 20" OAK
18: 18:		12/11/7° DAK 18° OAK
18	10	16" OAK
18	12	12" OAK
18 18	14	24" OAK
1B 18	t5	6" OAK 7" OAK 18/18" OAK
18	7	26" OAK
18 18	19	7/6" DAK 10/8" OAK
16: 18		16" OAK 15" OAK
18:	22	17/14/9" OAK
18 18	24	6" OAK
181 181	26	1 48 UAK
18. 18:		15" OAK 6" OAK
18	29	8" OAK 10/6" DAK
18	31	15/8" DAK
18. 18.	33	
18. 18	34	8" OAK 21" OAK 30" OAK 12/11/7" OAK
18	36	21 GAK 30" GAK 12/11/7" OAK 18" OAK
18 18	38	18" OAK 26" OAK
18 18	39	24 OAK
18 18	42	15" OAK 12" OAK 10/7" OAK 23/16" OAK
18	44	20,10
18 18		13" CAV
18 18		
18	49	32" OAK 16" OAK 12/6" OAK
18	50 51	12/6" OAK 15" OAK 12/12/12" OAK
1B	<u>~</u>	12/12/12" OAK

12" OAK		1855	26" OAK
11" OAK 14" PALM		1856 1857	18/11" OAK 18/15/12" OAK
6" OAK		1858 1859	24" OAK 36" OAK
13 OAK		1850	fi" DAK
		1861 1862	25" OAK 20" OAK
9" OAK 9" OAK 7" OAK 14/11/10" OA		1863	32 OAK
14/11/10° OA 17/14/8° OAI	k.	1864 1865	6 OAK 12 OAK
12/6" OAK		1866	13" OAK
16/12/9" OAI	<u> </u>	1867 1868	14" OAK 13" PALM
12" OAK		1869 1870	22/10" OAK
7" OAK 11" PALM		1871	15" OAK 10" OAK
25" OAK 12" OAK		1672 1673	31/22" OAK 12/12/10" OAF
9" OAK		1874	15" OAK
6" OAK 16/9" OAK		1675 1876	15/10" OAK 24" OAK
14/14/10" OA	K	1877	20/12/10" OAF
5" OAK 8/8" OAK		1878 1879	20/12/10" OAK 9" OAK 10" OAK 19" OAK
8° OAK		1881 1882	19" GAK 18" OAK
ID UAK		1883	24" OAK
9° OAK 8° OAK		1884 1885	20 UAK
8/7" OAK		1886	
7" OAK		1887	9" DAK 24" DAK
12" OAK 18" OAK		1889	24" OAK 15" PALM
20/15" DAK 23" OAK		1890 1892	13/13" OAK 24" OAK
		1893	12" OAK
6" OAK 6" OAK 7" OAK		1894 1895	15/6" OAK 16" OAK
8" OAK 8" OAK		1896 1897	12/10/8/6/6" O 31/18" OAK
8" OAK		1898	24" OAK
29/7" OAK 14" OAK		1899 1900	13" OAK
18/16" OAK		1901	12/6" OAK
12" OAK 10" OAK 9" OAK		1902	22" OAK 15" PALM
B" OAK B" OAK		1904	18" OAK 18" PALM
9" OAK		1906	9" OAK
11" OAK 7" OAK		1907	15" OAK
11" OAK		1909	29/7" OAK 15/6" OAK
7" OAK		1911 1912	30" OAK 18/16/12/6" OA
6" OAK 10" OAK		1913	13" OAK 9" OAK
9" OAK 9" OAK		1914 1915	17/14/8" GAK
10" OAK		1916 1917	33" OAK 8" OAK
6" QAK 12" QAK		191B	12/9" OAK
12" OAK 18" OAK 11" OAK		1919 1920	19" OAK 14/10" OAK
6" DAK		1921	24" OAK
12" QAK 12" QAK		1922 1924	24" OAK 14" OAK 16" OAK
8° OAK		1925	10" OAK
6" DAK 12" OAK		1926 1927	6" OAK 11" OAK
12" OAK 5" OAK 22" OAK		1928 1929	8" OAK 10" OAK
16/7" OAK		1930	
43" OAK		1931 1932	17" OAK 10" OAK 11" OAK
13" QAK		1933 1934	6" OAK 8" OAK
6" QAK 7" QAK 6" QAK		1935	8 GAK 8" GAK 10" GAK
6" OAK 7" OAK		1936 1937	10" OAK 5" OAK
7" OAK		1938	10/6* OAK
11" OAK 10" PINE		1939 1940	6" OAK 8" OAK
11/11" OAK		1941	27/6" OAK
37" QAK 17" PALM		1942 1944	12/11/8" OAK 36" OAK
6/6" OAK		1945 1946	35" OAK 20" OAK 10/9/8" OAK
20" OAK		1947	20 UAK 10/9/8" OAK
12/11/7" QA 18" QAK	к	1948 1949	6" OAK 10" OAK
16" OAK		1951	B" OAK
16" OAK 18" OAK 12" OAK		1953 1954	a. UVK
24" OAK		1955	24" GAK 9" OAK
6" OAK 7" OAK		1956 1957	15/13" OAK 10" OAK
18/18" OAK		1959 1960	
26" OAK 7/6" DAK		1961	18" OAK 8" OAK 13" OAK 13" OAK
10/8" OAK 16" OAK		1962	13 UAK 12" PAIM
16" OAK 15" OAK		1964	e" DAK
17/14/9" QA 15" QAK	K	1965 1966	6" DAK 7" DAK
6" OAK		1968 1969	12" PINE 20" OAK
48" OAK		1970	13/9" OAK
15" OAK 6" OAK		1971 1972	12" OAK 24/12/10" OA
8° OAK		1973	14" DAK
10/6" DAK 15/6" DAK		1974 1975	
26/13" OAK		1977	14/10" OAK 16" DAK 7" OAK 15" OAK
8" OAK 21" OAK 30" OAK		1982 1983	7" OAK
30" OAK 12/11/7" OA	K	1984 1986	
12/11// 0/4	<u> </u>	1988	10" DAK
26" OAK		1989 1990	7/6 UAK
15" OAK		1991	15" DAK
12" DAK		1992 1993	8" OAK
10/7" OAK 23/16" OAK		1996	14" PINE 17" OAK
13" OAK		1998 1999	7/6/4" OAK
12" DAK		2000 2001	12 OAK
32" OAK 16" OAK		2002	9" OAK 11" PINE
12/6" OAK 15" OAK		2003 2005	8" PINE
12/12/12" OF	k	2006	17" OAK 19" PINF

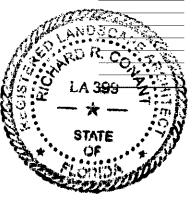
1855	26" OAK	2009	6" OAK	
1856 1857	18/11" OAK 18/15/12" OAK	2010 2011	11/6" OAK 12/8" OAK	
1858	24" OAK 36" OAK	2012	25/20" OAK 10/10/7" OAK	
1859 1860	6" DAK	2013 2014	17" OAK	
1861 1862	25" OAK 20" OAK	2015 2016	14" OAK 9" OAK	
63 64	32" OAK 6" DAK	2017 2016	20" OAK 5" OAK	
1865	12" OAK	2019 2020	14" OAK	
1867	13" OAK 14" OAK 13" PALM	2021	8" OAK 9" OAK	
1868 1869	13" PALM 22/10" OAK	2022 2023	6" OAK 14" OAK	
1870 1871	15" OAK 10" OAK	2024 2025	15/12/11" DAK 15/14/9" DAK	
1872 1873	31/22" OAK 12/12/10" OAK	2026 2027	14" OAK 27" QAK	
1874	15" OAK	2028	14/10" OAK	
1875 1876	15/10" OAK 24" OAK 20/12/10" OAK	2029 2031	14" OAK 17" OAK	
1877 1878	20/12/10" OAK 9" OAK	2032 2033	22" OAK 18" OAK	
1879 1881	10" OAK	2034 2035	17" OAK 24" OAK	
1882 1883	19" OAK 18" OAK 24" OAK	2036 2037	6" OAK 8" OAK	
1884	00" 044 i	2038	30" OAK	
1885 1886	30" OAK 21" OAK	2039 2040	8" OAK 6" OAK	
1887 1888	9" OAK 24" OAK	2041 2042	8" OAK 6" OAK	
1889 1890	15" PALM 13/13" OAK	2043 2044	6" OAK 15" OAK	
1892 1893	24" OAK 12" OAK	2045 2046	18" OAK 14" OAK	
1894	15/6" OAK	2047	26/8 DAK	
1895 1896	16" OAK 12/10/8/6/6" OAK	2048 2049	10" OAK 10" OAK	
1897 1898	31/18" OAK 24" OAK	2050 2051	16/6" OAK 32" OAK	
1899	13" OAK	2052 2053	20" OAK 26" OAK	
1901	38/17* OAK 12/6* OAK 22" OAK	2054 2055	24" DAK 24/17/13" DAK	
1903	15" PALM	2056	14" PALM	
1904 1905	18" OAK 18" PALM	2057 2059	18" OAK 24" OAK	
1906 1907	9" OAK 15" OAK	2060 2061	18" PALM 25" OAK	
1908 1909	29/7" OAK 15/6" OAK	2062 2063	23" OAK 14" OAK	
1911 1912	30" OAK 18/16/12/6" OAK	2064 2065	24/15" OAK 15" PINE	
1913 1914	13" OAK	2066 2067	8" PINE 9/8" OAK	
1915	17/14/8" GAK	2068 2069	15" OAK	
1916 1917	33" OAK 8" OAK	2072	12" OAK 14" OAK	
191B 1919	12/9" OAK 19" OAK	2073 2074	15/13" OAK 27" OAK	
1920 1921	14/10" OAK 24" OAK	2075 2076	12/6" DAK 13" OAK	
1922 1924	14" OAK	2077 2078	13" OAK 16" OAK 6" OAK	
1925 1926	10" OAK 6" OAK	2079 2080	41/22" OAK B" OAK	
1927	11" OAK	2081 2082	18/12" DAK 13" OAK	
1926 1929	8" OAK 10" OAK	2083	14/7" OAK	11
1930 1931	17" OAK 10" OAK	2084 2085	12" OAK 10" OAK	1100
1932 1933	11" OAK 6" OAK	2086 2087	12" QAK	
1934 1935	8" OAK 8" OAK	2088 2089	10" OAK 12/12/10" OAK	
1936 1937	10" OAK 6" OAK	2090 2091	8" OAK 12" OAK	17 3
1938 1939	10/6* OAK	2092 2093	8" OAK	1 . O
1940	6" OAK B" OAK	2094 2095	15/11" OAK 8" OAK	130:
1941 1942	27/6" OAK 12/11/8" DAK	2096	7" OAK 15" OAK	13
1944 1945	36" OAK 35" OAK	2097 2098	8" OAK 6" OAK	Mr.
1946 1947	20" OAK 10/9/8" OAK	2099 2100	6" OAK 11" OAK	12
1948 1949	6" OAK 10" OAK	2101 2102	9" OAK 7" OAK	10 ×
1951 1953	8" OAK	2103 2104	12/11/5" DAK	4
1954 1955	24" GAK	2105 2106	7" OAK 8" OAK	
1956	15/13" OAK	2107	14/13/13/14" OAK 12" OAK	
1957 1959	10" OAK 18" OAK	2108 2109	14" QAK 12" QAK	
1960 1961	8" DAK 13" OAK	2110 2111	10" OAK	
1962	13" OAK 13" OAK 12" PALM	2112 2113	11" OAK 10" OAK	
1964 1965		2114 2115	15" OAK	
1966	6" DAK 6" DAK 7" DAK	2116	10" OAK	1
1968 1969	12" PINE 20" OAK	2117 2118	20/15/9" OAK 13" OAK	
1970 1971	13/9" OAK 12" OAK	2119 2120	11" PINE 15" OAK	
1972 1973	24/12/10" OAK 14" OAK	2121 2122	9" DAK 7" DAK	
1974 1975	14/10" OAK 16" DAK	2123 2124	6" OAK	
1977	7" OAK	2125	9" OAK	
1982 1983	7° OAK	2126 2127	7" OAK 7" OAK	
1984 1986	8" OAK 10" OAK	2128 2129	6" OAK 6" OAK	
1988	20" OAK 7/6" OAK			
1989	11/7" OAK			
1990	fee out			
1990 1991 1992	15" OAK 8" OAK	LAFETTE	- 1 4 1 1 2 2 2 2 2 2 2	N.D.
1990 1991 1992 1993 1996	15" OAK 8" OAK 22/16" OAK	I CERTIFY THAT THE		
1990 1991 1992 1993	15" OAK 8" OAK 22/16" OAK 14" PINE 17" OAK	IRRIGATION DESIGN	FOR THIS PRO	JECT IS IN
1990 1991 1992 1993 1996 1998 1999 2000	15" OAK 8" OAK 22/16" OAK 14" PINE 17" OAK 7/6/4" OAK	IRRIGATION DESIGN ACCORDANCE WITH	I FOR THIS PRO I THE CITY OF A	JECT IS IN POPKA'S
1990 1991 1992 1993 1996 1998 1999 2000 2001 2002	15" OAK 8" OAK 22/16" OAK 14" PINE 17" OAK 7/6/4" OAK 12" OAK 9" OAK 11" PINE	IRRIGATION DESIGN ACCORDANCE WITH ORDINANCE 2069 A	I FOR THIS PRO I THE CITY OF A DOPTED MAY 21	JECT IS IN POPKA'S 1, 2008
1990 1991 1992 1993 1996 1998 1999 2000 2001 2002 2003 2005	15" OAK 8" OAK 22/16" OAK 14" PINE 17" OAK 7/6/4" OAK 12" OAK 9" OAK 11" PINE 8" PINE 17" OAK	IRRIGATION DESIGN ACCORDANCE WITH ORDINANCE 2069 AI WHICH ESTABLISHE	N FOR THIS PRO H THE CITY OF A DOPTED MAY 21 ES WATERWISE	JECT IS IN POPKA'S 1, 2008
1990 1991 1992 1993 1996 1998 1999 2000 2001 2002 2003	15" OAK 8" OAK 22/16" OAK 14" PINE 17" OAK 7/6/4" OAK 12" OAK 9" OAK 11" PINE 8" PINE	IRRIGATION DESIGN ACCORDANCE WITH ORDINANCE 2069 A	N FOR THIS PRO H THE CITY OF A DOPTED MAY 21 ES WATERWISE "ANDARDS.	JECT IS IN POPKA'S 1, 2008

	20/0 0:41
2048	10" OAK
2049	10 DAK
2050	16/6 OAK
2051	32" OAK
2052	20° OAK
2053	16" OAK
2054	16" OAK 24" OAK 24/17/13" OAK 14" PALM
2055	24 /17 /13" DAV
2056	14" DAIM
2057	18" OAK
2059	18" OAK 24" OAK
2050	18" PALM
2061	25" OAK 23" OAK
2062	23" OAK
2063	14" OAK
2064	24/15" OAK
2065	15" PINE
2066	15" PINE 8" PINE
2067	9/8" DAK
2068 2069	15" OAK
2059	
2072	14" OAK
2073	15/13" OAK
2074	27" OAK
2075	27" OAK 12/6" DAK
2076	13" OAK
2077	16" OAK
2078	6" OAK
2079	6" OAK 41/22" OAK
2080	8" OAK
2081	8" OAK 18/12" OAK
2001	
2082 2083	13" DAK
	14/7" OAK
2084	12" OAK
2085 2086	10" OAK
2086	16" OAK
2087	12" QAK
2088	10" OAK 12/12/10" OAK
2089	12/12/10" OAK
2090	l 8" OAK
2091	12" OAK
2092 2093	8" OAK 15/11" OAK
2093	15/11" OAK
2094	8" OAK
2095	7" OAK
2096	15" OAK
2097	8" OAK
2098	6" OAK
2099	6" OAK
2100	11" OAK
2100 2101	9" QAK
2102	7" OAK
2103	7" OAK 12/11/5" DAK
2104	7" OAK
2105	B" OAK
2100	14/13/13/14" OAK
2106 2107	14/13/13/14" OAK 12" OAK
2108	12" OAK
2109	14^ QAK 12" OAK
2110	10" OAK
2111	D0 0 1-1
2117	B" OAK
2112	11" OAK
2113	IO DAK
411T	15" OAK
2115	14" OAK 10" OAK
2116	10" OAK
2117	20/15/9" OAK 13" OAK
2118	13" OAK
2119	11" PINE
2120	15" OAK
2121	9" OAK
2122 2123	7" OAK
2123	6" OAK
2124	14" OAK
2125	9" OAK
2126	7" ()AK
2126 2127	7" OAK
7178	6" DAK
2129	6" OAK



120 West Robinson Street Orlando, Florida 32801-1617 Phone (407) 648-2225 www.fosterconant.com

<u> </u>	
78010	_
-www.	
TOWNS AND THE PROPERTY OF THE	-
	_
	•
	_
=======================================	
-PTAL	
	-
	_



VISTA RESERVE

CITY OF APOPKA, FL

TREE MITIGATION

Ø4/Ø5/18 N/A

PRINT CPB Chicket RRC

FILE NO SAMALPOOLDUG

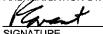
ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND TRIGATION STANDARDS. SIGNATURE

LA399 4.30.18 REG. NO. DATE

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

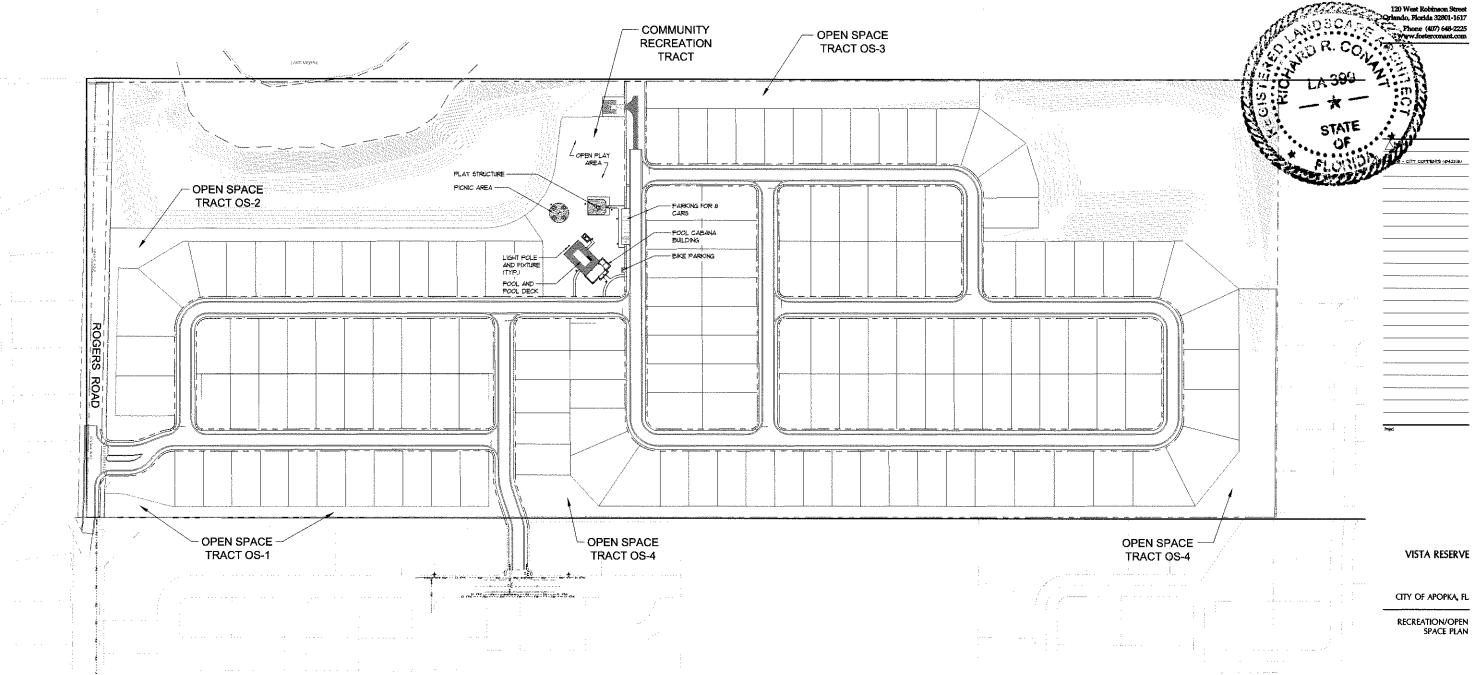
SIGNATURE

REG. NO. DATE



LA 399 4.3318 REG. NO. DATE



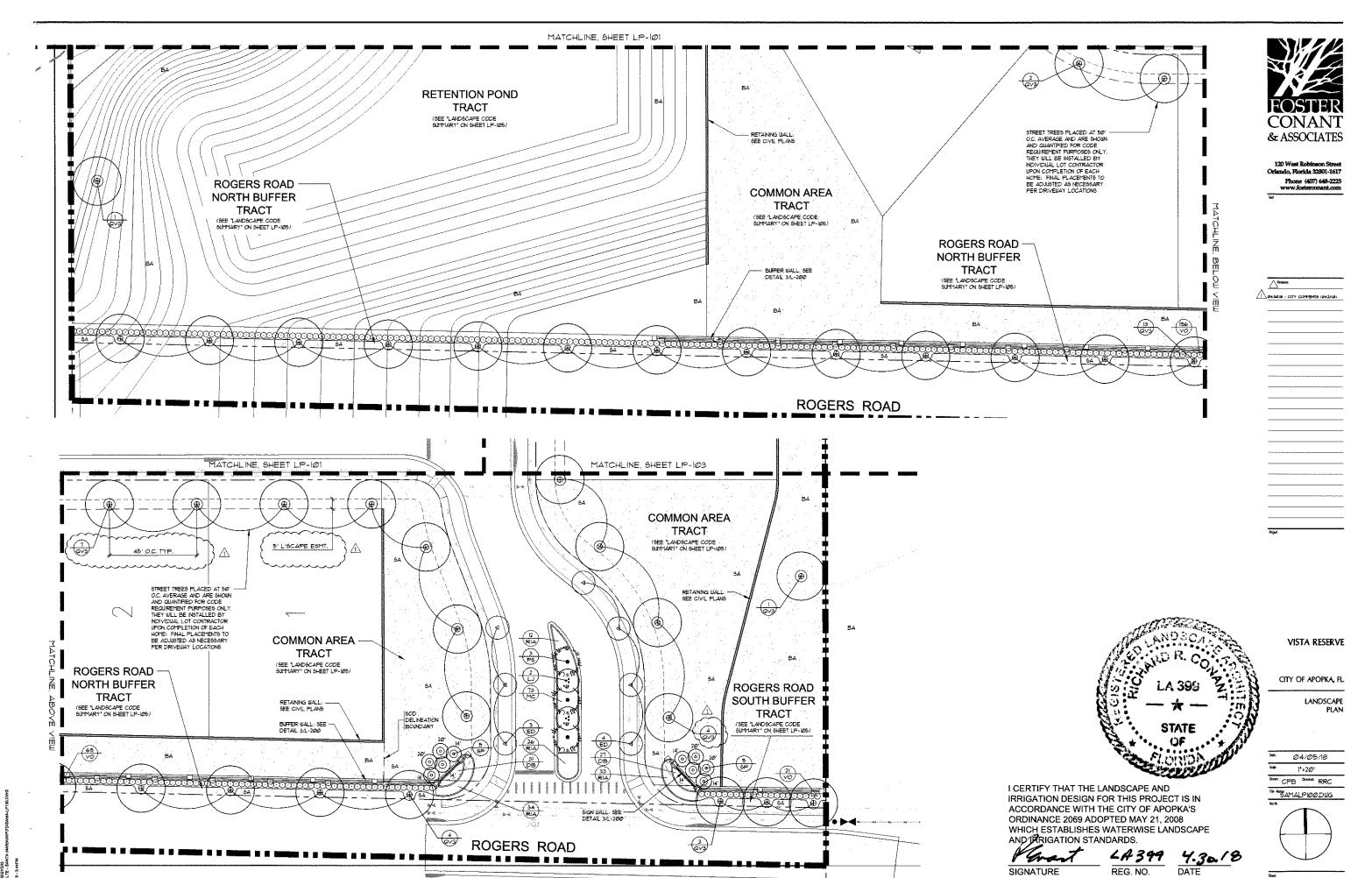


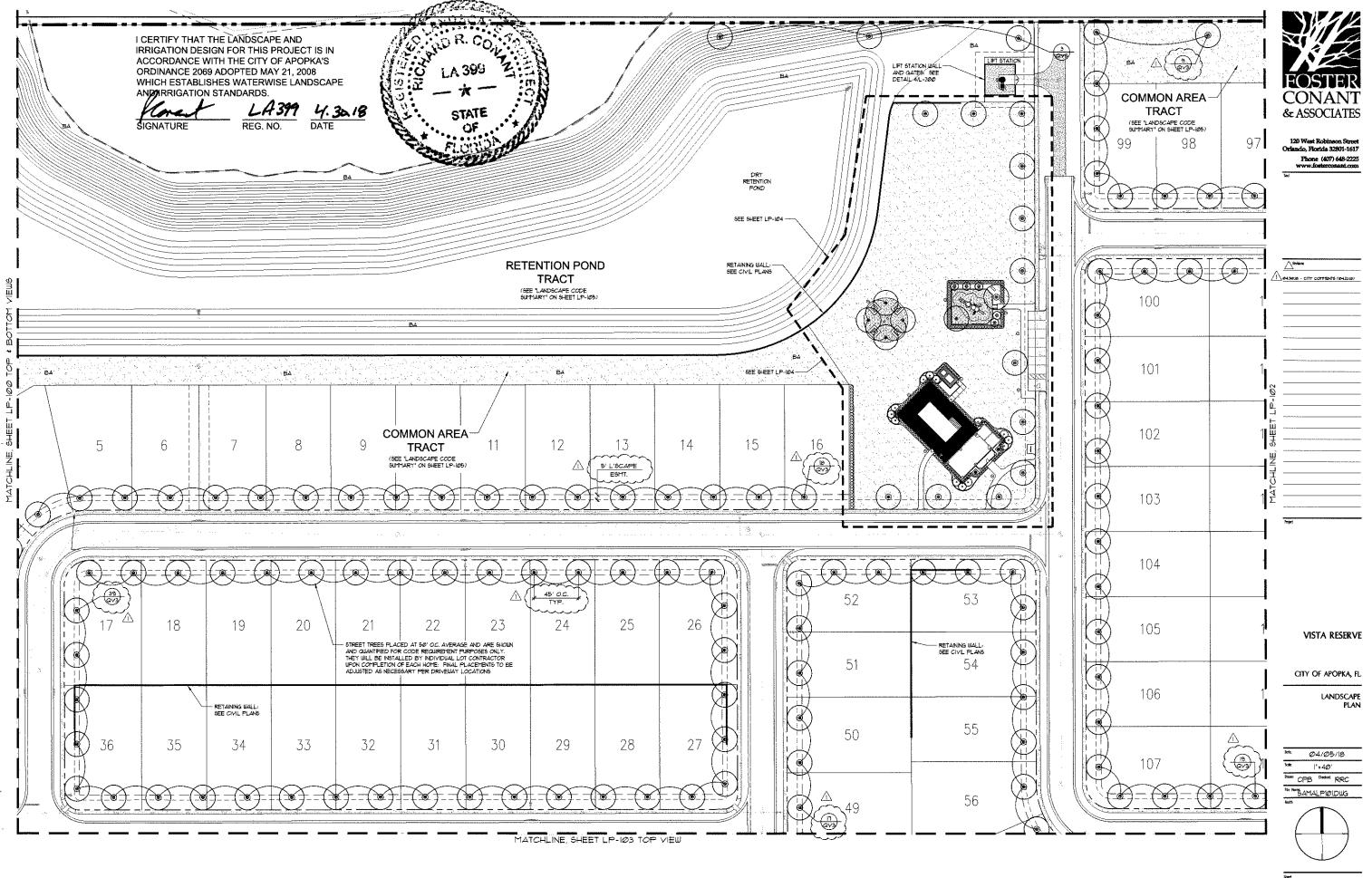
04/05/18 1'= |00

DOM: CPB DANNER RRC

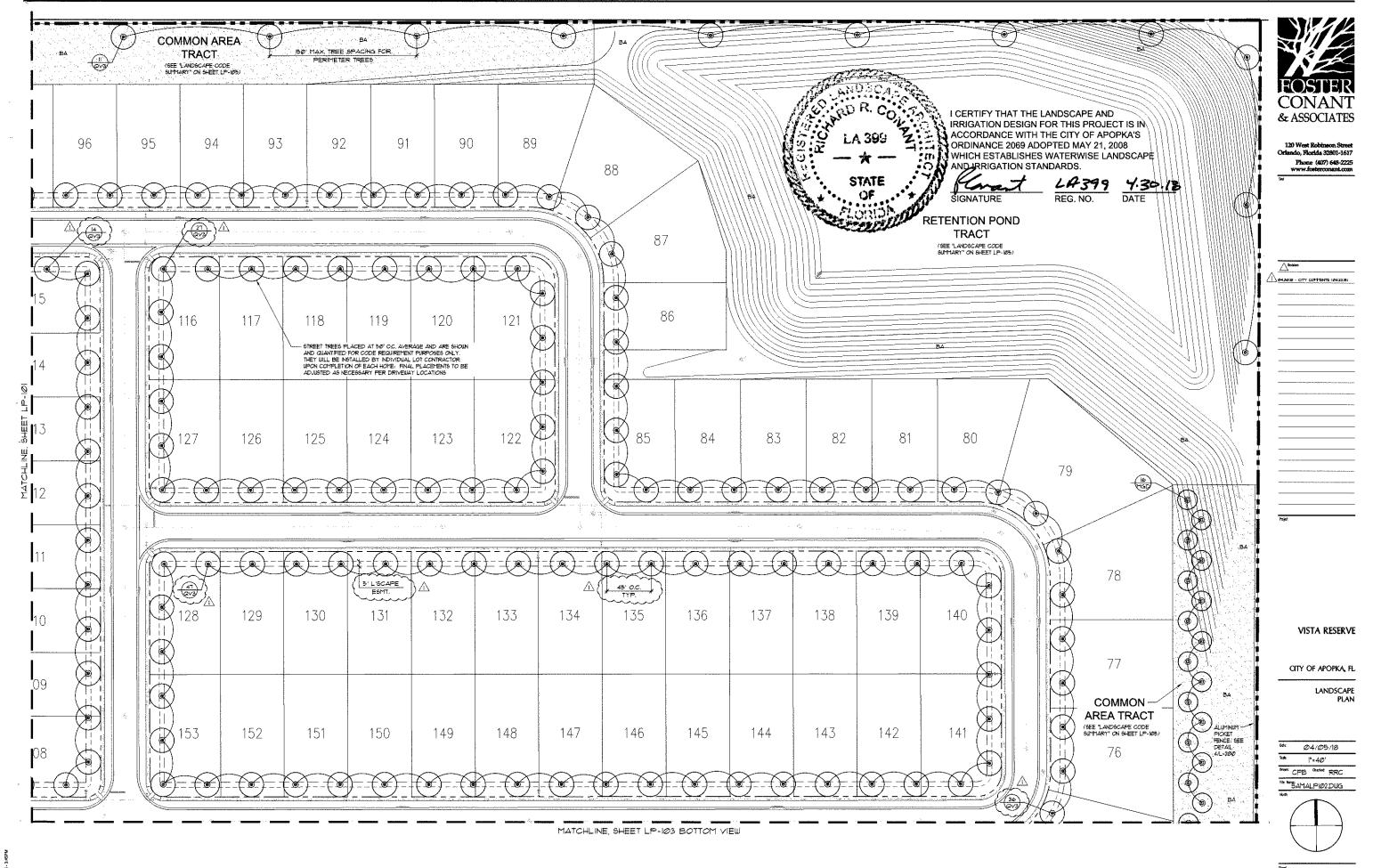
"SAMALPOOSDIUG

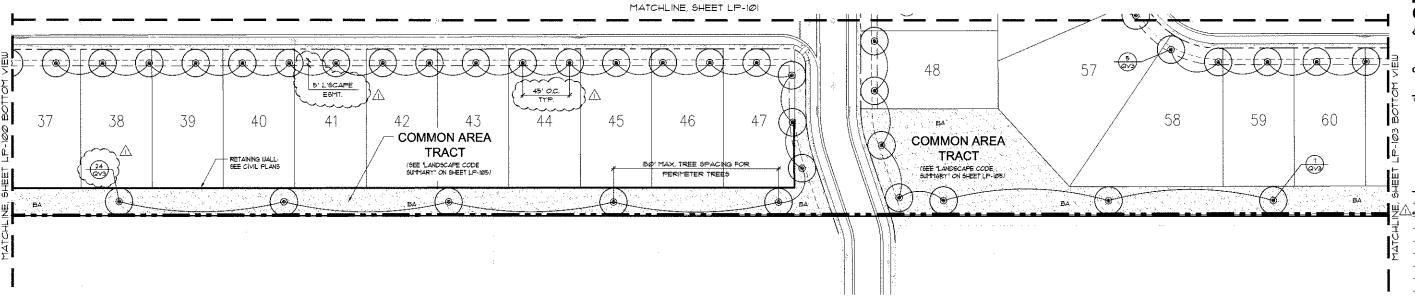






USERIPW: CHRISBNSYS03 FILE NAME: F!PULTE - SANTA MARI XREFS:





MATCHLINE, SHEET LP-102 75 5' L'SCAPE ESMT. (23) (Y3) 45' O.C. ALUMINUM PICKET -FENCE: SEE DETAIL 4/1-200 74 70 71 72 73 63 65 66 67 68 69 COMMON AREA TRACT (SEE LANDSCAPE CODE SUMMARY! ON SHEET LP-105)

SOUTH PROPERTY BOUNDARY COMMON AREA TRACTS

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND PRIGATION STANDARDS.

CH 399 4.39/8 REG. NO. DATE

5CALE: 1'=40'



120 West Robinson Street Orlando, Florida 32801-1617 Phone (407) 648-2225 www.fosterconant.com

VISTA RESERVE

CITY OF APOPKA, FL

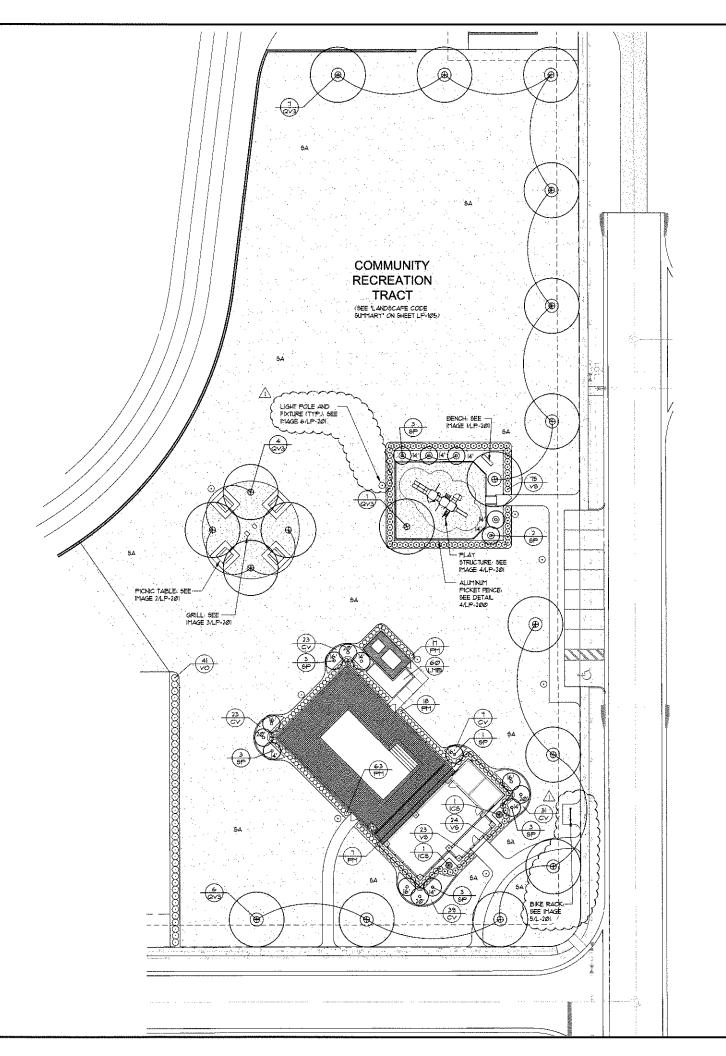
LANDSCAPE PLAN

04/05/18 1'=40'

CPB SINGER RRC

* * SAMALPIØ3.DUG







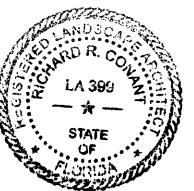
120 West Robinson Street Orlando, Florida 32801-1617 Phone (407) 648-2225 www.fosterconant.com

643	0.05 · CITY CONTRIBUTE (6	H.23 J
_		
_		
	A1	
~~~		
_		
_		
_		
	***************************************	
_		
	~~~	
_		
_		
_		_

VISTA RESERVE

CITY OF APOPKA, FL.

LANDSCAPE PLAN



I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND RIGATION STANDARDS.

SIGNATURE

REG. NO.

DATE

4.30.13 REG. NO. DATE

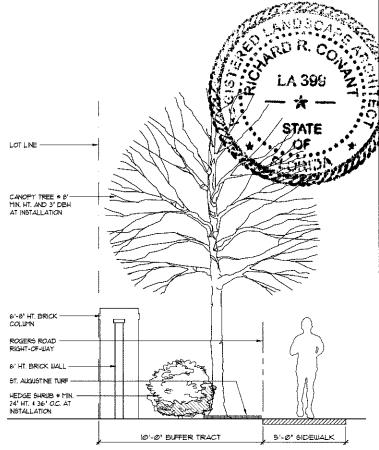
Ø4/Ø5/18 1"=20"

CPB Charles RRC SAMALPI04.DWG



I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

Martine LA399 4:30.18
PREG. NO. DATE



5CALE - 3/8" + 1'-0"

CITY OF APOPKA CODE SUMMARY

REQUIREMENT	CODE REFERÊNCE	CALCULATION	REQUIRED	PROVIDED	SIZE
ROGERS ROAD NORTH	BUFFER TRACT				
BUCKES BUTT BUTT	SEC 5 01 08(G) OF APOPKA CODE OF ORDINANCES (ACOO)	778 L.F./45 = 17.3	17 CANOPY TREES	17 CANOPY TREES	MIN 2.5" DBH & B' HT.
ROCERS ROAD R OW	SEC. 5.01.08(G) OF APOPKA CODE OF ORDINANCES (ACOO)	N/A	CONTINUOUS ALONG ROAD R.O.W.	CONTINUIQUIS ALONG ROAD R O.W.	MIN. 24" HT. @ PŁANTING & 36" O.C.
PROVIDE SCREEN WALL	SEC 39 OF APOPKA DEVELOPMENT DESIGN GUIDELINES (ADOG)	N/A	CONTINUOUS ALONG ROAD R.O.W.	CONTINUOUS ALONG ROAD R.O.W.	MAX 6' HT BRICK WALL
ROGERS ROAD SOUTH	BUFFER TRACT	-			
DNE CANOPY THEE PER 25 ALONG	SEC. 2.02.18(D)(21)(d) OF APOPKA CODE OF ORDINANCES (ACOO)	67 L.F./25 = 2.68	3 CANOPY TREES	3 CANDRY TREES	MIN 2.5" DBH & 8"HT.
CENCHUOUS HEDGE	SEC. 5.01.08(G) OF ACOO	N/A	CONTINUOUS ALONG ROAD R.D.W.	CONTINUOUS ALONG ROAD R.O.W	MIN 24" HT. @ PLANTHYS & 36" O.C."
PIDE SCREEN WALL	SEC. 3.9 OF APOPKA DEVELOPMENT DESIGN GUIDELINES (ADDG)	NA	CONTINUOUS ALONG ROAD R.O.W	CONTINUOUS ALONG ROAD R.O.W	MAX 5' HT BRICK WALL
VERALL TREE REQUI	REMENT				
1 CANOPY TREE PER 8000 SQ. FT. OF SITE AREA	SEC. 5.01.08(A)	2.660,985 S.F./8000 = 332.62	333 CANOPY TREES	566 CANOPY TREES**	MIN. 2.5' CAL. & 8'HT.
PERIMETER TREE REQ	UIREMENT				
	SEC. 2.02.18(D)(21)(d)(1) OF APOPKA CODE OF ORDINANCES (ACOO)	6301 L.F./150 = 42.00	42 CANOPY TREES	60 CANOPY TREES	MIN. 2.5" CAL & 8"HT.
COMMUNITY RECREAT	ION TRACT				
1 CANOPY TREE PER 4000 SQ. FT. OF TRACT AREA	SEC. 5.01.08(F) OF ACCO	72.679 S F./4006 = 18.16	18 CANOPY TREES	18 CANOPY TREES	MIN. 2.5" CAL. & 8" HT.

. * Since a 6' wall is also being provided in this buffer, a 24" shrub height is being substituted for the normally required 36" high herm/hedge screen rep

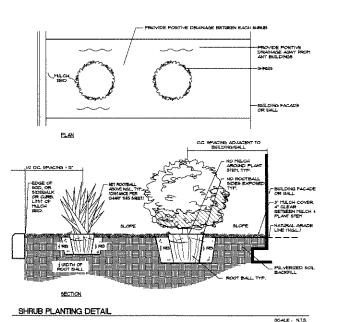
NOTE:

ALL SPECIFIED PLANTS IN THE PLANT LIST ARE "FLORIDA FRIENDLY" AS LISTED IN THE FLORIDA PRIENDLY LANDSCAPING GUIDE AS PUBLISHED BY THE UNIVERSITY OF FLORIDA/FASE EXTENSION SERVICE AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

TRUM TRUMBED HET - 3' HALSH COVER, AVOI

10' ROGERS ROAD RIGHT-OF-WAY LANDSCAPE BUFFER

SYLVESTER DATE PALM DETAIL



PLANT SCHEDULE

TREES						
SYM	ΩTY	BOTANICAL NAME	COMMON NAME	SPECIFICATION	WATER USE	NATIVE
EĐ	6	ELAEOCARPUS DECIPIENS	JAPANESE BLUEBERRY	MIN 8" HT. & 3" MIN.CAL., FUEL, 3" C.T.	LOW	NO.
LJ	2	LIGUSTRUM JAPONICUM	TREE LIGUSTRUM	MIN G'HT., FULL, MULTI-STEM	MEDIUM	NO
MGD	27	MAGNOLIA GRANDIFLORA 'D.O. BLANCHARO'	D D BLANCHARD MAGNOLIA	MIN 8" HI, & 2" MIN.CAL., FULL, SYMMETRICAL FORM	MEĐIUM	YES
QV3	359	QUERCUS VIRGINIANA	LIVE OAK	MIN 8" HT 8 3" MIN.CAL, FULL, SYMMETRICAL FORM	LOW	YES
~~~	تررر					
PALMS						
SYM	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATION	WATER USE	NATIVE
PS	3	PHOENIX SYLVESTRIS	SILVER DATE PALM	MIN 10 C.T. DIAMOND CUT TRUNK, SPECIMEN QUALITY	LOW	NO
SP	28	SABAL PALMETTO	CABBAGE PALM	REMOVE BOOTS, CIT HT AS NOTED ON PLANS, REGENERATED ROOTS	I.OW	YES
						5:50.050,0040,004
SHRUBS	1000000000					
SYM	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATION	WATER USE	NATIVE
CV	123	CALLISTEMON VIMINALIS "LITTLE JOHN"	DWARF BOTTLEBRUSH	3 GAL., 12"-14" HT, X 12"-14" SPRD, 24" G C	row	NO
DB	56	DIETES BICOLOR	YELLOW AFRICAN IRIS	1 GAL., 181-241 HT., 3-4 PPP, 181 O.C.	MEDIUM	NO
ICS	2	ILEX CRENATA 'SKY PENCIL'	SKY PENCIL HOLLY	3 GAL., 24"-28" HT. X 24"-28" SPRD. 30" O.C., FULL	MEDIUM	YES
LMB	6D	L'RIOPE MUSCAR: 'BIG BLUE'	BIG BLUE BORDER GRASS	1 GAL., FULL IN POT, 18" O.C	LOW	NO
MC	73	MUHLENBERGIA CAPILLARIS	MUHLY GRASS	3 GAL . 241-281 HT. N 241-281 SPRD. 301 O.C., FULL	LOW	YES
PM	105	PODOCARPUS MACROPHYLLUS	YEW PODOCARPUS	3 GAL , 201-24" HT. X 14"-16" SPRD, 24" O.C.	LOW	NO.
RIA	105	RHAPHIOLEPIS INDICA 'AUBA'	WHITE INGRAN HAWTHORN	3 GAL, 12"-14" HE X 12"-14" SPRD, 24" O.C.	FOM	NO
VG	323	VIBURNUM ODORATISSIMUM	SWEET VIBURNUM	MIN 24" FFT , 3" O.C., FULL	MEDIUM	NO
VS	122	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	3 GAL , 161-20" HT X 16"-20" SPRD, 30" O.C., FULL	MEDIUM	NG
GRASS						
SYM	ату	BOTANICAL NAME	COMMON NAME	SPECIFICATION	WATER USE	NATIVE
BA	TBD	PASPALUM NOTATUM 'ARGENTINE'	ARGENTINE BAHIA	FUL., DENSE FOLIAGE, PEST AND DISEASE FREE	LOW	NO
SA	1	STENOTAPHRUM SECUNDATUM FLORATAM	FLORATAM ST ALIGUSTINE	FULL, DENSE FOLIAGE, PEST AND DISEASE FREE	MEDIUM	NO

#### **GENERAL NOTES**

- ALL UNPAYED AREAS NOT DESIGNATED AS A LANDSCAPE SHRUB BED SHALL BE COVERED WITH SOD AS INDICATED ON PLANS.
- NEULT INSTALLED TREES SHALL HAVE THEIR CALIPER HEASURED AT DIAMETER BREAST HEIGHT (DBH) PER CITY OF APOPIKA CODE.
- 4. ALL FLANT MATERIAL SHALL MEET OR EXCEED THE GRADE STANDARDS OF FLORIDA NO. AS PROVIDED IN "GRADES AND STANDARDS FOR NURSER" PLANTS (LATEST EDITION). STATE OF FLORIDA, DEPARTIENT OF ASRICULTURE, TALLAHASSEE, AND ANY ATTENDMENTS
- ALL TREES WITH THE EXCEPTION OF PALMS SHALL BE EITHER CONTAINER GROWN OR FIELD GROWN NO GROW BAGS WILL BE ACCEPTED.
- ALL PLANT BEDS AND DESIGNATED "MULCH" AREAS SHALL BE TOP-DRESSED WITH A MINSYUM OF 3" PINE BARK "MINI-NUGGETS" MULCH.
- ALL TREES SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL INSPECTION.
- ALL TREES SHALL HAVE ALL SYNTHETIC BURLAP REMOVED FROM THE ENTIRE ROOT BALL THE TOP THREE ROUS OF SQUARES ON ALL CAGES AROUND THE ROOT BALLS SHALL BE CLIPPED OFF AND REMOVED.
- IO. THE CONTRACTOR SHALL READ AND ADHERE TO ALL URITTEN SPECIFICATIONS
- IL THE CONTRACTOR SHALL SUBMIT UNIT PRICES FOR ALL BID ITEMS.

LARGE TREE PLANTING DETAIL BALL AND BURLAP

EDGE OF HEICH RING TO BE IN OUTSIDE OF LIVERE GITING CABLE PUTER GROUND

- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS AND DEPTHS PRIOR TO LANDSCAPE INSTALLATION.

-DIAMETER OF TREE PIT TO BE THICK THE DIAMETER OF SOOT BALL: ROUGHIN BIDES OF TREE PIT - 4" HIGH K 6" WIDE FRONDED BOIL BERM 480VE ROOT BALL BURFACE (FOR RELL DRAINED BOIL ONLY)

- IB. SUCCESSRIL BIDDER SHALL LOOK UP ALL MATERIALS INTEDIATELY AFTER CONTRACT ASSIGNMENT, PLANTS SHALL BE HELD DURING THE PERIOD FROM CONTRACT TO ALDOUR ORR ADDITIONAL GROUNT. ALL PLANTS WILL BE RECURRED TO BE FULL AND HEALTHY. CONTRACTOR SHALL ARREAVES FOR PLANT APPROVAL PRIOR TO DELINERY THINKE BY SAMPLES, PHOTOS OR NURSERY VISITS.
- I6. THE CONTRACTOR SHALL REVIEW THE SOILS REPORT ON FILE WITH THE OWNER.
- THE INSTALLATION OF PLANT MATERIAL SHALL BE VIEWED AS ACCEPTANCE BY THE CONTRACTOR OF EXISTING GRADES AS GIVEN TO HIM.
- IN THE EVENT OF A VARIATION DETILEEN THE PLANT LIST AND THE ACTUAL QUANTITY OF PLANTS SHOUN ON THE PLAN DRAWINGS, THE PLANS SHALL CONTROL. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING A QUANTITY COUNT AS A CHECK FOR DISCREPANCIES.
- THE CONTRACTOR WILL BE REQUIRED TO SAND AREAS OF SOD THAT ARE NOT SMOOTHLY APPLIED TO ELIMINATE CHALL IRREGULARITIES IN GRADES, LARGE GRADE IRREGULARITIES INL. REQUIRE REGRADING AND RESOCODING.
- THE CONTRACTOR IS RESPONSIBLE FOR HANTENANCE OF THE SITE INCLUDING ALL MOUING EDGING, TRIMMING, FRUNING AND SPRATING OF PESTICIDES AND RUNGICIDES UNTIL THE THINE OF PIAL ACCEPTANCE BY THE OWNER, IF PROJECT IS INSTALLED IN PHASES, OWNER WILL PROVIDE PHASING INFORMATION AT TIME OF BIDDING PROCESS.
- 22. CONTRACTOR SHALL BE RESPONSIBLE FOR RECEIVING THE LANDSCAPE ARCHITECT'S APPROVAL OF ALL PLANT BED LATOUTS AND TREE LOCATIONS PRICE TO NOTALLATION. IP PLANT HATERIAL IS INSTALLED PRIOR TO LANDSCAPE ARCHITECTS APPROVAL CONTRACTOR BILL BE SUBJECT TO RELOCATING THE HATERIAL AT THE LANDSCAPE ARCHITECTS REGULET AND AT THE CONTRACTORS OUR EXPENSE.
- 24. PRIOR TO THE REMOVAL OF ANY TREES, THE TREES TO BE RETAINED SHALL HAVE PROTECTIVE TREE BARRIERS PER THE TREE PROTECTION DETAIL.
- 25. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NORTHAL HIGH WATER ELEVATION OF THE RETENTION PONDOS WITH THE CIVIL ENGINEER PRIOR TO PLANTING ANY SPECIFIED TREES OR LITTORAL BLANTINGS IN THE IMPREDIATE POND VICINITY. THE LANDSCAPE ACKINITED THAT IN CONTRACT HALL BE NOTIFIED IF THE NORTHAL HIGH WATER ELEVATION IS NOT AS SHOWN ON THE LANDSCAPE FLAMS SO THAT PROPER REVISIONS CAN BE TRADE.
- 26. CONTRACTOR IS EXPECTED TO CARRY OUT ALL RESPONSIBILITIES AS SET FORTH IN THESE LANDSCAPE NOTIES AND IN THE LANDSCAPE SPECIFICATIONS. THEY UILL BE STRICTLY ENFORCED BY THE OWNERLANDSCAPE ARCHITECT.

CONANT & ASSOCIATES

120 West Robinson Street Orlando, Florida 32801-1617 Phone (407) 648-2225 www.fosterconant.com

/|_@4,9@38 - CITY CONTIBNIS (@4.23.16)

VISTA RESERVE

CITY OF APOPKA, FL

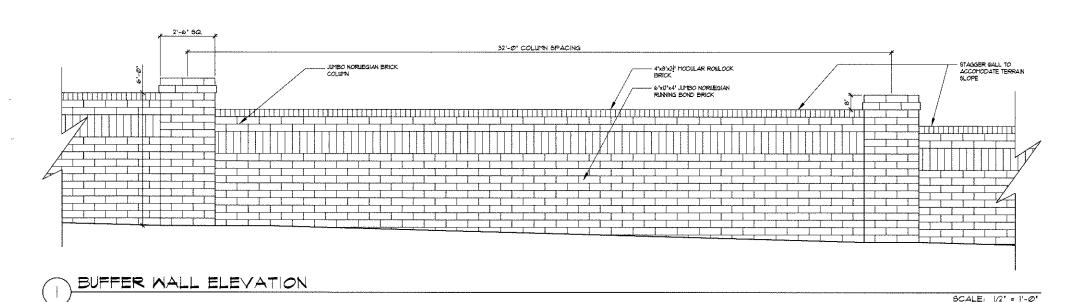
LANDSCAPE NOTES & DETAILS

·· REHOVÉ ALL TUINE I STRAPS I CUT EVRL PROH TOP 1/3 OF ROOTBALL 4" High × 6" UICE PROINDED 601, BERM ABOVE PROOF BALL SURFACE - HATURAL GRADE LINE OLGIL. DIAMETER OF TRACE PIT TO BE TWICE THE DIAMETER OF TRACE PIT TO BE TWICE THE THEM BY

MULTI-TRUNK PLANTING DETAIL

04/05/18 AS NOTED Street CPB Checket RRC FILE NOTE: SAMALPIØ5.DUG

NOTE: F SITE CONDITIONS REQUIRE GLYSNS OF THE TREET GIVING DETAILS PROTI CANOPY TREET ABOVE



4°x6'x2]* MODULAR ROULOCK BRICK

JUMBO NORWEGIAN BRICK COLUMN AND WALL

SCALE: 1/2" = 1'-@"

TILE INLAY



120 West Robinson Street Orlando, Florida 32801-1617 Phone (407) 648-2225 www.fosterconant.com

11 64.3635 - CITY CONTIENTS (642335)

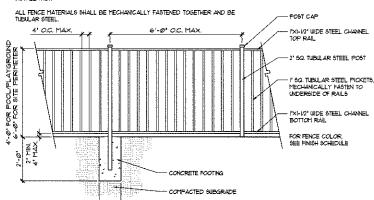
SCALE: 1/2" = 1'-@"

ALUMINUM PICKET GATES JUMBO NORUEGIAN BRICK COLUMN AND LIFT STATION WALL AND GATE ELEVATION

SHOP DRAWINGS, HARDWARE AND SPECIFICATIONS WILL BE REQUIRED PRIOR TO PARRICATION OF THE GATES AND TO BE APPROVED BY THE OWNER PRIOR TO INSTALLATION

SIGN WALL ELEVATION

2'-6"



SIGN SHALL NOT EXCEED 8" IN HEIGHT PER LOR SEC. 8,04,15(b)

<u>~~~~~~~</u>

ista Reserve

PLAYGROUND PICKET FENCE SCALE: 1/2" = 1'-0"

RECORD DRAWINGS FOR THE PROJECT CONTAIN INFORMATION FURNISHED BY RECORD DRAWINGS FOR THE PROJECT CONTAIN INFORMATION CONTROL OF CON SUPERVISION AND FOUND TO BE ADEQUATE AND CONSISTENT WITH THE OPERMIT AND THE APPROVED DRAWINGS AND SPECIFICATIONS. ANY STATE

SIGNATURE

SIGNATURE

TRIOR APPROVALS AND ARE JUDGED BY ME NOT TO ALTER THE THE STRUCTURAL INTEGRITY OF THE DESIGN, THE SAFETY OR THE STRUCTURAL INTEGRITY ON STRUCTED WORK AND WILL NOT PREVENT THE PROJECT FROM FUNCTIONING IN ACCORDANCE WITH THE RULE REQUIREMENTS.

SIGNATURE

REG. NO.

DATE AND STATEMENTS AND MINOR DEVIATIONS, WHICH ARE DEPICTED, WERE MADE
WILL PRIOR APPROVALS AND ARE JUDGED BY ME NOT TO ALTER THE MAIN NENT OF THE DESIGN, THE SAFETY OR THE STRUCTURAL INTEGRITY OF THE

Ø4/Ø5/18 AS NOTED DOWN CPB DINNA RRC

F MEMTHLP200DWG

VISTA RESERVE

CITY OF APOPKA, FL

HARDSCAPE DETAILS

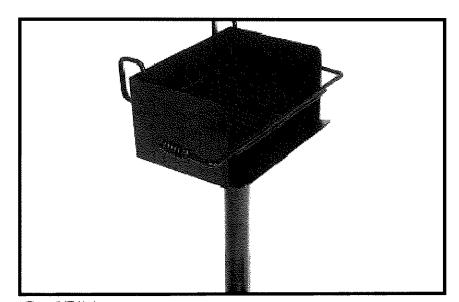


BENCH

N.T.S.



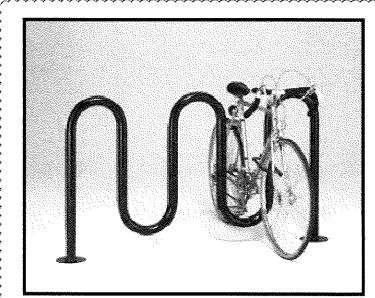
PICNIC TABLE



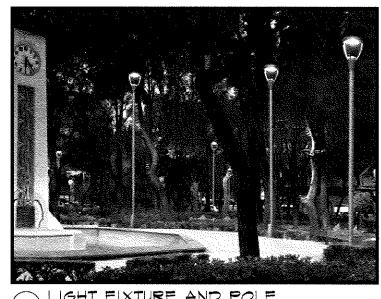
(3) GRILL



PLAY STRUCTURE



BIKE RACK (5)



LIGHT FIXTURE AND POLE

JUSTMENTS AND MINOR DEVIATIONS, WHICH ARE DEPICTED, WERE MADE TH PRIOR APPROVALS AND ARE JUDGED BY ME NOT TO ALTER THE MAIN TENT OF THE DESIGN, THE SAFETY OR THE STRUCTURAL INTEGRITY OF THE ONSTRUCTED WORK AND WILL NOT PREVENT THE PROJECT FROM UNCTIONING IN ACCORDANCE WITH THE RULE REQUIREMENTS.

SIGNATURE LA399 4.35.18
REG. NO. DATE

CONANT & ASSOCIATES

120 West Robinson Street Orlando, Florida 32801-1617

		¥E			
Λ	0430 IS	- cm	CONTRACT	re costs	

VISTA RESERVE

CITY OF APOPKA, FL

HARDSCAPE IMAGES

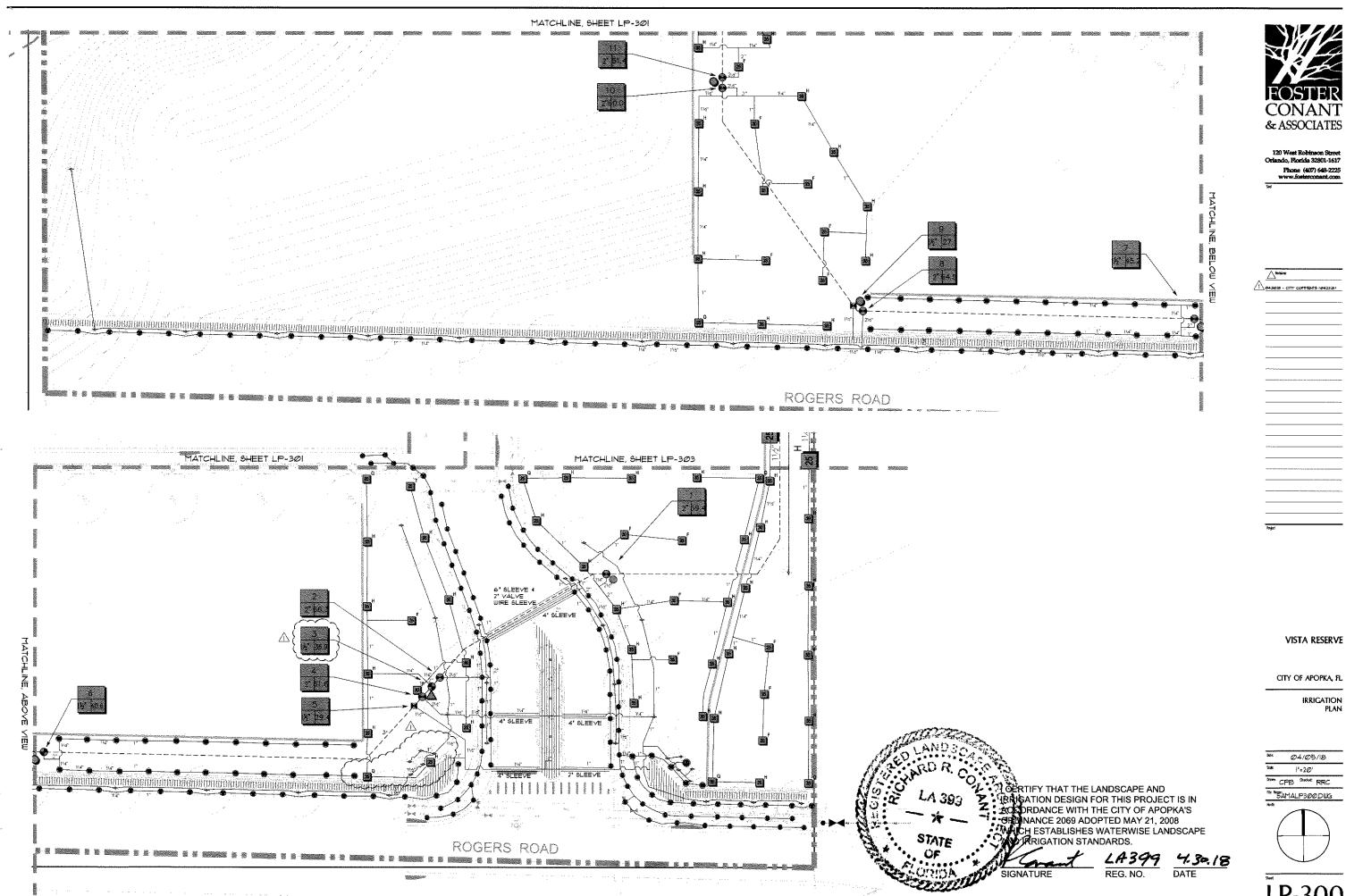
Ø4/Ø5/18

AS NOTED Prosent CPB Glocked RRC

File Name: EMTHLP2@!DUK3

**LP-201** 

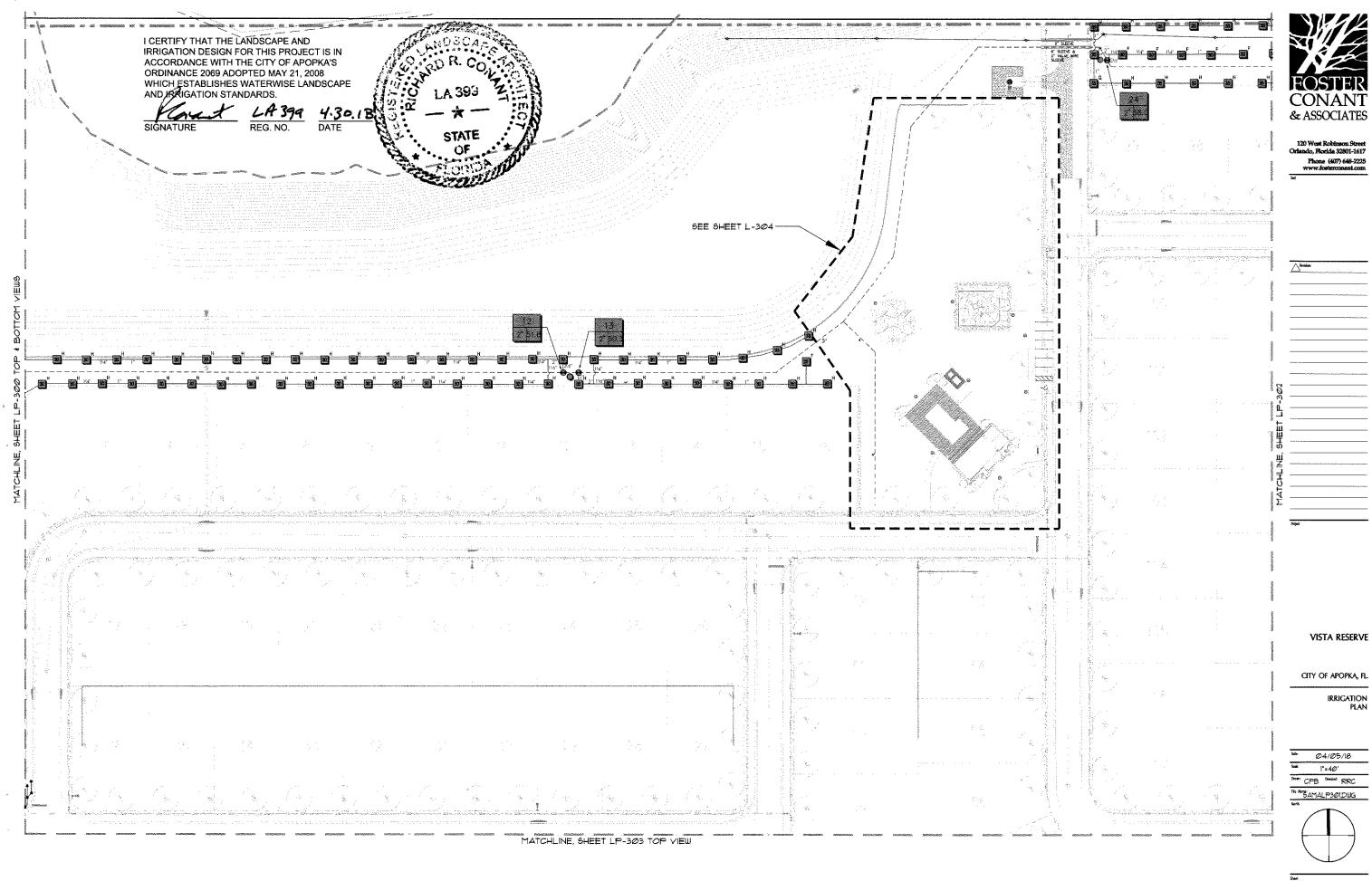
N.T.S.

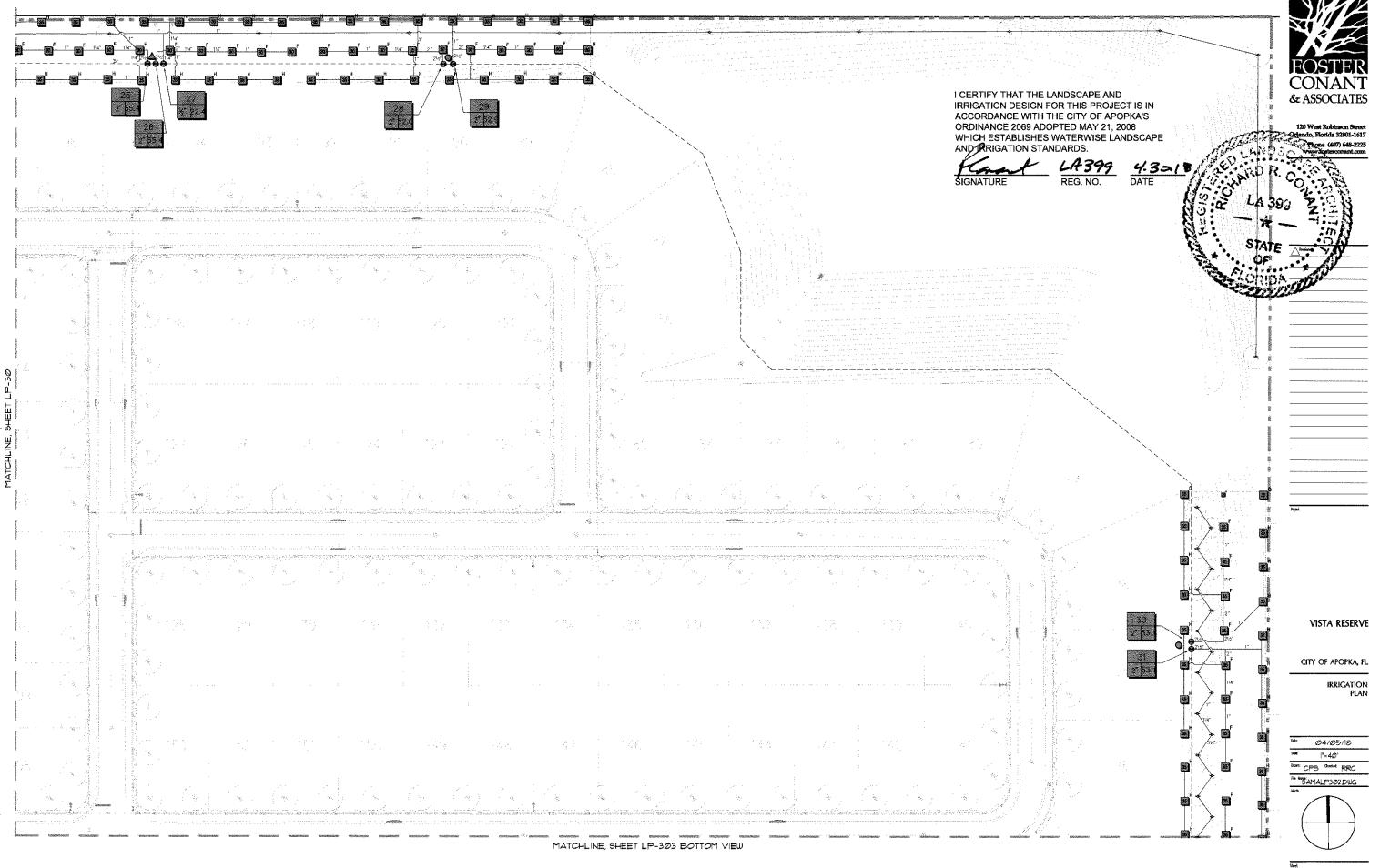


CONANT & ASSOCIATES

BAMALP300DUG







MATCHLINE, SHEET LP-301 SOUTH PROPERTY BOUNDARY COMMON AREA TRACTS

& ASSOCIATES

VISTA RESERVE

CITY OF APOPKA, FL

IRRIGATION

04/05/18 l'=40'

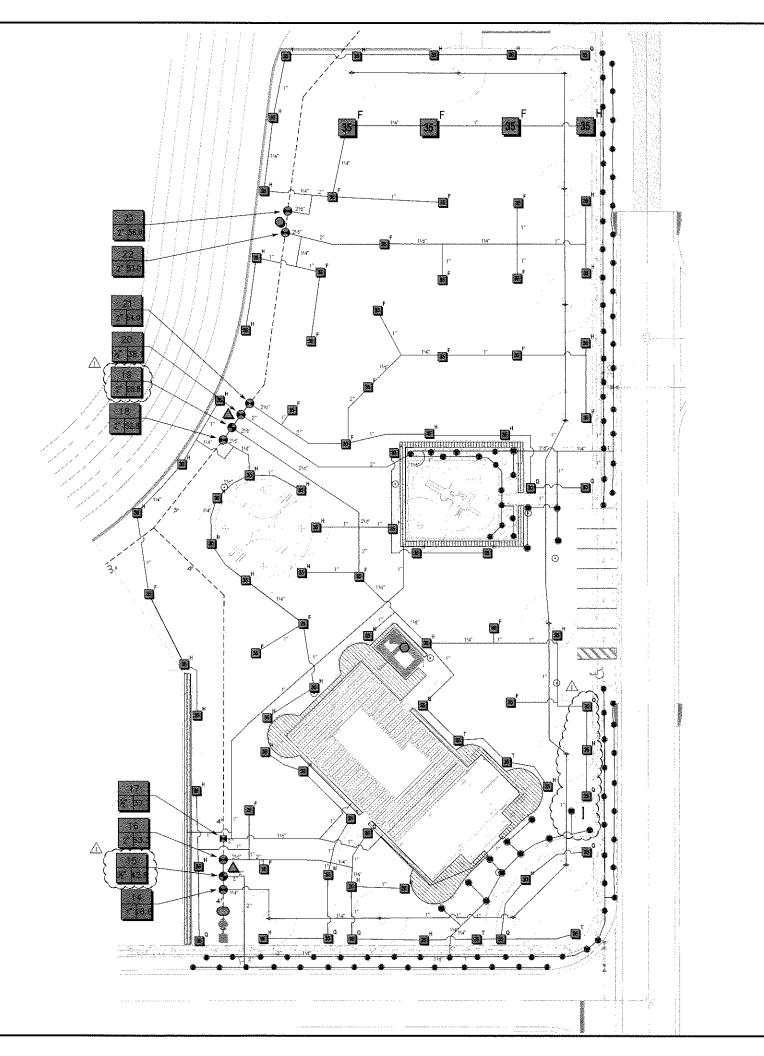
5CALE: 1'=40'

<u>LA399</u> <u>4.30.13</u> REG. NO. DATE

ACCORDANCE WITH THE CITY OF APOPKA'S GRENANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE POWE CPB Charles RRC

FI NSAMALP303 DUG







120 West Robinson Street Orlando, Florida 32801-1617

8.

VISTA RESERVE

CITY OF APOPKA, FL

Ø4/Ø5/18

[*=20" CPB CHANT RRC

IRRIGATION PLAN

CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008

WHICH ESTABLISHES WATERWISE LANDSCAPE TAND BRIGATION STANDARDS.

(A399 Y-33/8 DATE

Fr MSAMALP304DWG

SYMBOL	MANUFACTURER/MODEL	ARC	P.SI	GPM	RADIUS
@	Rain Bird 1806-U-SAM-PRS 15 Strip Series	EST	30	0.61	4'x15'
•	Roin Bird 1806-U-SAM-PRS 15 Strip Series	SST	30	1.21	4'x30'
<b>©</b>	Rgin Bird 1806-U-SAM-PRS U12 Series	360	30	2.60	12*
•	Rain Bird 1806-U-SAM-PRS U15 Series	360	30	3.70	15'
*	Roin Bird 1806-U-SAM-PRS HE-VAN Series	Adj	30		8'
*	Roin Bird 1806-U-SAM-PRS HE-VAN Series	Adj	30		10,
*	Rain Bird 1806-U-SAM-PRS HE-VAN Series	Adj	30		12"
*	Roin Bird 1806U-SAM-PRS HE-VAN Series	Adj	30		15'
•	Rain Bird 1800—1300AF Flood	360	20	1.40	3'
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION		<u>P5I</u>	SPM	RADIUS
ARC	Rain Bird 5006—NP—PC.FC—MPR Turf Rotor, 6.0" Pop—Up, Plastic Riser, Matched Precipitation Rotor (MPR nozzle). Arc and Radius as per Symbol. 25 ft=red, 30 ft=green, 35ft=beige. With Non—Potable Purpl Cover.	÷	35		24'
ARC	Rain Bird 5006—NP—PC.FC—MPR Turf Rotor, 6.0" Pop—Up, Plastic Riser, Matched Precipitation Rotor (MPR nazzle). Arc and Radius as per Symbol. 25 ft=red, 30 ft=green, 35ft=beige. With Non—Potable Purpl Cover.		35		30'
ARC	Rain Bird 5006—NP—PC.FC—MPR Turf Rotar, 6.0" Pop-Up, Plastic Riser, Matched Precipitation Rotar (MPR nazzle). Arc and Radius as per Symbol. 25 ft=red, 30 ft=green, 35ft=beige. With Non-Potable Purpl. Cover.		35		34'
SYMBOL	MANUFACTURER / MODEL / DESCRIPTION				
<b>3</b>	Rain Bird XCZ-150-PRB-COM 1-1/2" High Flow Control Zone Kil, for Large Commercial Drip Zones. 1-1/2" PESB Valve w two 1" Pressure Regulating (40psi) Quick-Check Basket Filters. Flow range: 15-40gpm.	ith			
	Area to Receive Dripilne Rain Bird XFD-09-12 XFD On-Surface Pressure Compensating Landscape Dripiline. 0.9 GPH emitters at 12" ( Dripline laterols spaced at 12" apart, with emitters offset for triangular pattern. UV Resistant. Specify XF insert fittings.	).C.			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION				
€	Rain Bird PESBR 1-1/2" 1", 1-1/2", and 2" Durable Chiorine-Resistant Valves for Reclaimed Water Applications. With Scrubber Mechanism Technology, and Purple Flow Control Handle.				
8	Rain Bird PESBR 1" 1", 1-1/2", and 2" Durable Chlorine—Resistant Valves for Reclaimed Water Applications. With Sarubber Mechanism Technology, and Purple Flow Control Handle.				
•	Rain Bird PESBR 2" 1". 1-1/2", and 2" Duroble Chlorine-Resistant Valves for Reclaimed Water Applications. With Scrubber Mechanism Technology, and Purple Flow Control Handle.				
•	Rain Bird 300-BPE-PRS-D-NP-HAN Globe 3" Bross Master Valve, with Globe Configuration. With PRS-Dial Pressure Regulator Module. With Purple Flow Control Handle for Non-Potable Water Applications.				
	Rain Bird ESP-LXD-LXMMSS-LXMMSSPED 50 station 2-wire, exterior stainless steel pedestal. Flow sensing.				
€	Rain Bird RSD—BEx Rain Sensor, with metal latching bracket, extension wire.				
9	Rain Bird FD-1011URF Field Decoder for Two-Wire system. Install in valve box for valve. Operates one valve/solenoid. Use line surge protection as per manuscatteations.				
<b>&amp;</b>	Rain Bird FD-202TURF Field Decoder for Two-Wire system. Install in valve box for valve. Operates two valve/solenoids or two pairs of valves. Use line surge protection as per manufacturer directions.				
<b>A</b>	Rain Bird FD—401TURF Fletd Decoder for Two—Wire system. Install in valve box for valve. Operates up to four valve/solenoids. Use line surge protection as per monitalizations.				
	Rain Bird FS-300-P 3" Flow Sensor for use with Roin Bird Maxicot SiteCentral, and ESP-LXD Central Central Systems. Plastic (PVC) Model. Suggested Operating Range of 20.0 GPM to 300.0 GPM. Sensors should be sized for flow rather than pipe size.	n,			
8	Water Meter 2" RECLAIM POC	NP			
	SEE PLAN FOR PIPE SIZE.	-41			
#	Valve Calitori  Valve Nymper  (Y e Valve Nov				
<u></u>	Valve Size				

NUMBER	MODEL.	SIZE	TYPE	<u>GPM</u>	WIRE	PSI	PSI @ POC	PRECIP
1	Rain Bird PESBR	2*	Turf Retor	59.43	1,737	40.29	51.38	0.65 in/
2	Rain Bird PESBR	2"	Turf Spray	66.27	1,635	36.65	48.16	1.18 in/h
3	Rain Bird PESBR		Turf Rotor	33.95	1,629	38.84	46.99	0.63 in/
4	Rain Bird PESBR	2"	Bubbler	61.60	1.622	34.22		4.77 in/
5	Rain Bird XCZ-150-PRB-COM		"Area for Dripline	29.42	1,616	34.58	42.40	1.44 in/l
6	Roin Bird PESBR	2*	Turf Spray	50.05	1,415	37.04		1.09 in/l
7	Rain Bird PESBR		"Turf Spray	45.22	1,407	34.46	43.47	1.13 in/h
8	Rain Bird PESBR	2"	Turf Spray	64.47	1,239	38.89	49.57	1.76 in/l
9	Rain Bird XCZ-150-PRB-COM	1-1/2	P Area for Driptine	27.14	1,233	31.85	39.39	1.44 in/l
10	Rain Bird PESBR	2	Turf Rotor	59.98	1,101	40.68	50.91	0.61 in/l
11	Rain Bird PESBR	2"	Turf Rotor	51.44	1,096	42.19	51,50	0.61 in/l
12	Rain Bird PESBR	2"	Turf Rotor	51.80	533.1	42.60	51.54	0.60 in/
13	Roin Bird PESBR	2"	Turf Rotor	50.33	517.9	42.42	51.27	0.59 in/
14	Roin Bird PESBR	1"	Bubbler	16.80	214.0	29.38	36.38	4.77 in/
15	Rain Bird PESBR	1-1/2	2"Turf Spray	40.23	207.8	37.31	45.24	1.08 in/l
16	Rain Bird PESBR	2"	Turf Rotor	53.25	200.4	40.87	49.66	0.60 in/
17	Rain Bird XCZ-150-PRB-COM	1-1/2	2" Area for Dripline	37.73	190.8	40.48	48.26	1.44 in/l
18	Rain Bird PESBR	2"	Turf Rotor	52.84	285.9	40.79	49.71	0.58 in/
19	Rain Bird PESBR	2"	Turf Rotor	56.19	293.7	41.35	50.57	0.71 in/l
20	Rain Bird PESBR	1-1/2	"Turf Spray	36.09	299.9	35.26	43.03	1.19 in/t
21	Rain Bird PESBR	2"	Turf Rotor	53.96	306.4	40.98	50.01	0.61 in/
22	Rain Bird PESBR	2"	Turf Rotor	53.04	386.6	40.05	49.06	0.59 in/
23	Rain Bird PESBR	2"	Turf Rotor	56.90	396.4	41.39	50.75	0.54 in/
24	Rain Bird PESBR	2"	Turf Rotor	57.97	690.0	41.23	50.91	0.55 in/
25	Rain Bird PESBR	2"	Turf Rotor	55.37	990.4	40.68	50.27	0.53 in/
26	Roin Bird PESBR	2"	Turf Rotor	55.37	998.6	40.30	49.90	0.56 in/
27	Rain Bird PESBR	1-1/2	2" Bubbler	22.40	1.006	38.15	45.38	4.77 in/
28	Rain Bird PESBR	2"	Turf Rotor	52.04	1,286	40.63	50.37	0.54 in/
29	Rain Bird PESBR	2"	Turf Rotor	52.89	1,296	40.78	50.63	0.54 in/
30	Rain Bird PESBR	2*	Turf Rotor	53.13	2,424	40.47	51.41	0.55 in/
31	Rain Bird PESBR	2**	Turf Rotor	53,12	2,432	40.54	51.48	0.55 in/
32	Rain Bird PESBR	2"	Turf Rotor	53.12	2,650	40.50	51.51	0.58 in/
33	Rain Bird PESBR	2"	Turf Rotor	51.42	2,659	40.80	51.55	0.58 in/
34	Rgin Bird PESBR		2" Bubbler	37.80	2,668	28.28		4.77 in/
35	Rgin Bird PESBR	2"	Turf Rotor	53.38	2,845	41.45	52.53	0.59 in/
36	Roin Bird PESBR	2"	Turf Rotor	53.63	2.856	43.26	54.38	0.59 in/
37	Rain Bird PESBR	2"	Turf Rotor	53.63	3,430	43.31	55.16	0.58 in/
38	Rain Bird PESBR	2"	Turf Rotor	53.53	3,417	43.27	55.11	0.58 in/
39	Rain Bird PESBR	2"	Turf Rotor	58.29	2.783	41.75	54.35	0.57 in/
40	Rgin Bird PESBR	2"	Turf Rotor	56.16	2,769	40.97	53.15	0.58 in/
41	Rain Bird PESBR		2" Bubbler	26.60	2,760	34.30	42.36	4.77 in/
42	Roin Bird PESBR		2" Turf Spray	40.86	2,604	33.12	14.00	1.11 in/t
43	Rain Bird PESBR	2"	Turf Rotor	49.32	2,585	40.73	51.48	0.60 in/
44	Rain Bird PESBR		2" Turf Rotor	48.44	1,958	41,60	51.51	0.60 in/
45	Rain Bird PESBR	2"	Turf Rotor	54.09	1,947	40.57	51.21	0.59 in/
<b>T</b>	Common Wire	2	I GIT NO COT	34.09	6,740	40.07	31.21	V.09 In/

VALUE SCHEDILLE

NUMBER	MODEL		TYPE	PRECIP	IN./WEEK	MIN./WEEK		GAL /DAY
1	Roin Bird		Turf Rotor	0.65 in/h	1.5D	138	8,201	4,101
2	Roin Bird		Turf Spray	1.18 in/h	1.50	77	5,103	2,551
3	Rain Bird		Turf Rotor	0.63 in/h	1.50	144	4.889	2,444
4	Rain Bird		Bubbler	4.77 in/h	1	13	800.8	400.4
5		XCZ-150-PRB-COM	Area for Dripline	1.44 in/h	1	42	1,235	617.7
6	Rain Bird		Turf Spray	1.09 in/h	1.50	83	4,154	2,077
7	Rain Bird		Turf Spray	1.13 in/h	1.50	80	3,617	1,809
8	Rain Bird		Turf Spray	1.76 in ∕h	1.50	52	3,352	1,676
9	Rain Bird	XCZ-150-PRB-COM	Area for Dripline	1.44 in/h	1	42	1,140	570.0
10	Rain Bird		Turf Rotor	0.61 in/h	1.50	149	8,937	4.469
11	Rain Bird	PESBR	Turf Rotor	0.61 in/h	1.50	147	7.562	3,781
12	Rain Bird	PESBR	Turf Rotor	0.60 in/h	1.50	151	7,822	3,911
13	Rain Bird	PESBR	Turf Rotor	0.59 in/h	1.50	153	7,700	3,850
14	Rain Bird	PESBR	Bubbler	4.77 in/h	1	13	218.4	109.2
15	Rain Bird	PESBR	Turf Spray	1.08 in/h	1.50	84	3,379	1,689
16	Rain Bird	PESBR	Turf Rotor	0.60 in/h	1.50	150	7,988	3,994
17	Rain Bird	XCZ-150-PRB-COM	Area for Dripline	1.44 in/h	1	42	1,585	792.3
18	Rain Bird	PESBR	Turf Rotor	0.58 in/h	1.50	156	8,243	4.122
19	Rain Bird	PESBR	Turf Rotor	0.71 in/h	1.50	127	7,136	3,568
20	Rain Bird	PESBR	Turf Spray	1.19 in/h	1.50	76	2,743	1,371
21	Rain Bird	PESBR	Turf Rotor	0.61 in/h	1.50	149	8,040	4,020
22	Rain Bird	PESBR	Turf Rotor	0.59 in/h	1.50	153	8,115	4,058
23	Rain Bird	PESBR	Turf Rotor	0.54 in/h	1.50	157	9,502	4,751
24	Rain Bird	PESBR	Turf Rotor	0.55 in/h	1.50	164	9,507	4,754
25	Rain Bird	PESBR	Turf Rator	0.53 in/h	1.50	169	9.358	4,679
26	Rain Bird	PESBR	Turf Rotor	0.56 in/h	1.50	162	8,970	4,485
27	Rain Bird	PESBR	Bubbler	4.77 in/h	1	13	291.2	145.6
28	Rain Bird	PESBR	Turf Rotor	0.54 in/h	1.50	168	8.743	4,371
29	Rain Bird	PESBR	Turf Rotor	0.54 in/h	1.50	166	8,780	4,390
30	Rain Bird		Turf Rotor	0.55 in/h	1.50	166	8.820	4,410
31	Rain Bird	PESBR	Turf Rotor	0.55 in/h	1.50	164	8.712	4.356
32	Rain Bird		Turf Rotor	0.58 in/h	1.50	156	8,287	4,143
33	Roin Bird	PESBR	Turf Rotor	0.58 in/h	1.50	156	8.022	4.011
34	Rain Bird		Bubbler	4.77 in/h	1	13	491.4	245.7
35	Rain Bird	PESBR	Turf Rotor	0.59 in/h	1.50	154	8,221	4,110
36	Rain Bird		Turf Rotor	0.59 in/h	1.50	154	8,259	4,130
37	Rain Bird		Turr Rotor	0.58 in/h	1.50	154	8,259	4,130
38	Rain Bird		Turf Rotor	0.58 in/h	1.50	155	8.313	4.156
39	Rain Bird		Turf Rotor	0.57 in/h	1.50	156	9.210	4.605
40	Rain Bird		Turr Rotor	0.58 in/h	1.50	157	8,817	4,409
41	Rain Bird		Bubbler	4.77 in/h	1	13	345.8	172.9
42	Rain Bird		Turf Spray	1.11 in/h	1.50	82	3,351	1,675
43	Rain Bird		Turf Rotor	0.60 in/h	1.50	149	7,349	3,674
44	Rain Bird		Turf Rotor	0.60 in/h	1.50	151	7,314	3,657
45	Rain Bird		Turf Rotor	0.59 in/h	1.50	153	8,276	4,138
	TONI DIG	. 2001	TOTALS:	3.35 11/31		5.365	279,155	139,578

CRITICAL ANALYSIS			
Generated:	2018-04-02 16:25	DESIGN ANALYSIS	
		Maximum Station Flow:	66.27 gpi
P.O.C. NUMBER: 01		Flow Available at POC:	77.03 gpr
Water Source Information:	RECLAIM POC	Residual Flow Available:	10.76 gpr
FLOW AVAILABLE		Pressure Reg. at Critical Station:	43.31 psi
Water Meter Size:	2"	Loss for Fittings:	0.28 osi
Flow Available:	77.03 gpm	Loss for Main Line:	2.78 psi
	21····	Loss for POC to Valve Elevation:	0.00 psi
PRESSURE AVAILABLE		Loss for Backflow:	0.00 psl
Static Pressure at POC:	65.00 psi	Loss for Master Valve:	6.60 psi
Elevation Change:	1.00 ft	Loss for Water Meter:	2.19 psi
Service Line Size:	2"	Critical Station Pressure at POC:	55.16 psi
Length of Service Line:	10.00 ft	Pressure Available:	64.00 psi
Pressure Available:	64.00 psi	Residual Pressure Available:	8.84 psi

#### GENERAL NOTES

- D. REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREE AND SHRUB LOCATIONS.
- ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER AND ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
- 3) ALL POP-UP ROTOR AND SPRAY HEADS SHALL BE INSTALLED USING AN IS PVC FLEX PIPE CONNECTION, CONTRACTOR SHALL NOT USE FUNNY PIPE.
- 4) PIPE SIZES SHALL, CONFORM TO THOSE SHOUN ON THE DRAWINGS. THE SMALLEST LATERAL PIPE SIZE TO A SINGLE SPRAY OR ROTOR HEAD SHALL BE 3/4".
- 5) ALL REMOTE CONTROL VALVES, GATE VALVES AND QUICK COUPLERS SHALL BE INSTALLED
- 6) THE EXACT HEIGHT OF ANY 12' POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- 7) CONTROL WIRE SHALL BE 2-WIRE AS SPECIFIED FOR USE WITH RAINBIRD EXD CONTROLLER BY MANUFACTURER NO CROSS CONNECTION BETWEEN CONTROLLERS SHALL BE ALLOUED, WIRE SPLICES SHALL BE MADE ONLY IN VALVE BOXES USING RAINBIRD 'DBYR-6' CONNECTORS.
- 8) ANY PIPING OR VALVES SHOWN OUTSIDE THE PROPERTY LINE OR OUTSIDE OF A LANDSCAPE AREA IS SHOWN THERE FOR DESIGN CLARITY ONLY, ALL PIPING AND VALVES SHALL BE INSTALLED ON THE PROPERTY AND WITHIN LANDSCAPE AREAS.
- 9) IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH. IT IS THE RESPONDIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILLARIZE HIMSELS WITH, AND EXERCIPE CARE SO AS TO NOT DAMAGE ANY EXISTING BERTS, WALLS, STRUCTURES, PLANT MATERIALS AND UTILITIES, THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE INMEDIATE REPAIR OR REPLACEMENT OF ALL, ITEMS DAMAGED BY HIS WORK, HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF SLEEVES AND PIPING THROUGH WALLS, UNDER ROADWAYS AND PAVING, ETC.
- 10) DO NOT UILLFILLT INSTALL THE SPRINCLER SYSTEM AS SHOUN ON THE DRAWINGS WHEN IT IS OBVICUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN AREA DIFFERENCES THIGHT NOT HAVE BEEN CONSIDERED IN THE BORNERENIS. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OUNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS.
- 11) FINAL LOCATION OF THE AUTOMATIC CONTROLLER(S) SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.
- 12) ELECTRICAL SERVICE TO ALL EQUIPMENT SHALL BE PROVIDED TO A JUNCTION BOX AT THE EQUIPMENT LOCATION (BY OTHERS, NOT A PART OF THIS CONTRACT) THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL CONNECTION PROM THE JUNCTION BOX
- 13) THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES TO PROVIDE OPTIMUM COVERAGE WITH MINIMAL OVERSPRAY ONTO WALKS, STREETS, WALLS, ETC. IN ORDER TO ACCOMPLISH THIS, THE CONTRACTOR HAY SUBSTITUTE VARIABLE ARC NOZILES IN PLACE OF THE SPECIFIED PIXED ARC NOZILES WERE NECESARY, PRESSURE COMPENSATING SCREENS MAY ALSO BE USED TO REDUCE SPRAY DISTANCE.
- 14) THE CONTRACTOR SHALL COMPLETE ALL WORK IN ACCORDANCE WITH ALL PREVAILING LAWS, CODES AND REGILATIONS
- (5) ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- I6) THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON A REPRODUCIBLE MYLAR SHOWING ALL IRRIGATION INSTALLATION. A MYLAR OF THE ORIGINAL PLAN MAY BE OBTAINED FROM THE LANDSCAPE ARCHITECT FOR A FEE. THE AS-BUILT DRAWING SHALL LOCATE ALL MANLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES.
- (1) ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.
- 18) SLEEVES SHALL BE PLACE INDER PAVEMENT AS SHOUN ON PLANS AND SHALL BE A MINIMUM OF 2X THE SIZE OF THE IRRIGATION PIPE.
- (a). ALL SPRAY HEADS IN THE ROW SHALL BE EITHER 6' OR 12' POP-UP AS INDICATED ON THE PLANS. NO RISERS SHALL BE USED ON SITE PER OSCEOLA COUNTY CODE.
- (9) ALL EQUIPMENT SHALL BE PURPLE IN COLOR AS REQUIRED BY OSCEOLA COUNTY CODE INDICATING THE USE OF RECLAIM WATER FOR THE IRRIGATION SYSTEM.
- 20) CONTRACTOR SHALL PERFORM PRESSURE AND VOLUME TEST ON IRRIGATION WATER SOURCE OVER A CONTINUOUS 24 HOUR PERIOD PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK SHOULD THE AVAILABLE SUPPLY NOT BE ADEQUATE TO INEET THE DEMANDS OF THE IRRIGATION SYSTEM AS DESIGNED THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION FOR DESIGN MODIFICATIONS.
- 2)) IN THE EVENT THAT A WELL IS USED AS THE WATER SOURCE FOR THE IRRIGATION SYSTEM, THE IN THE EVENT THAT A URLL IS USED AS THE UNITED STORY OF THE INSTIGATION STSTET, THE LANDSCAPE CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING WATER SAFFLES FROM THE WELL. AT THE LANDSCAPE CONTRACTOR'S EXPENSE, HE SHALL HAVE A CERTIFIED LAB ANALYZE THE WATER COLLAITY. THE LANDSCAPE CONTRACTOR SHALL REPORT TO THE LANDSCAPE ARCHITECT OR CUMER'S PROJECT MANAGER, ANY POTENTIAL ISSUES THAT MAY AFFECT THE HEALTH OF THE PLANT MATERIAL OR POTENTIAL STAINING TO SIDEBULKS AND BUILDINGS. REPORTING SHALL COLUMB EFFORE THE SYSTEM IS IN OPERATION. FAILURE TO REPORT SHALL PLACE LIABILITY ON THE LANDSCAPE CONTRACTOR.

Ŋ 2, ♥ CONANT & ASSOCIATES m

3 <del>"OF</del> SOLETION CONTINUES AND ADDRESS CHIBA

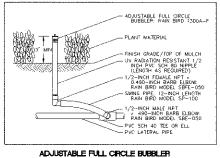
VISTA RESERVE

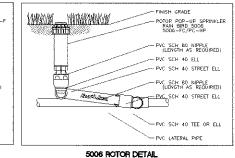
CITY OF APOPKA, FL

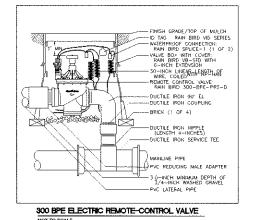
IRRIGATION NOTES & DETAILS

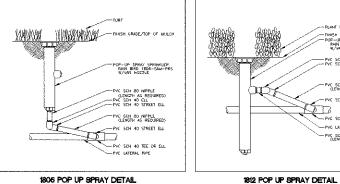
04/05/18 AS SHOWN Drawn: MJ Checked RRC SAMALP305.DUG

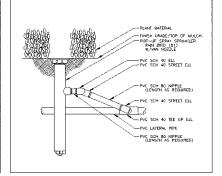
IRRIGATED WITH __ RECLAIMED WATER 3. ENGINEERING GRADE REFLECTIVE MATERIALS SHALL BE USED SIGN MATERIAL SHALL BE DOME GALGE METAL. STEEL PIPE POST SHALL BE 2-3/8" O'D, HOT-DIPPED GALVANIZED PER ASTH A-23. POST PROVIDED BY CURRY. 41. MOUNTING HAPPOWARE SHALL BE STABLESS STEEL. SIGNS SHALL BE PLACED BY CONTRACTOR IN ACCORDANCE WITH THE COUNTY APPROVED ENGINEERING PLANS AND/OR AS APPROVED BY THE COUNTY. FINISHED GRADE Id. CLISTOHEING OF BLONG HIGHT BE SUBMITTED TO COUNTY FOR APPROVA IL PROVIDE A HINIMUM OF 10 SIGNS. RECLAIMED WATER SIGNAGE SECTION/ELEVATION



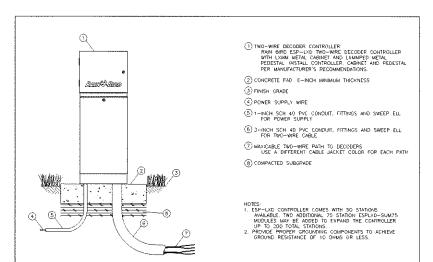


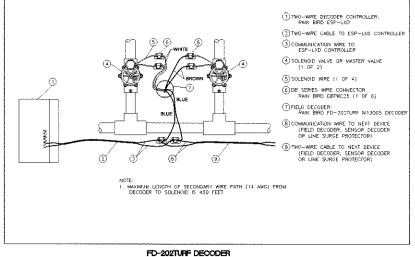




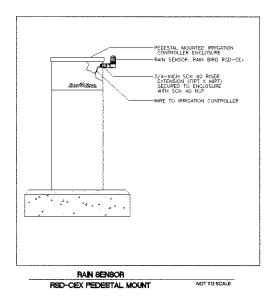


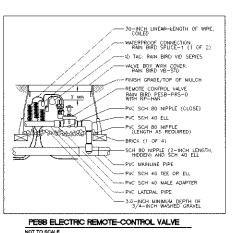






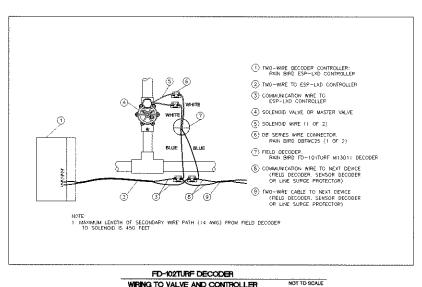
WIRING TO VALVE AND CONTROLLER

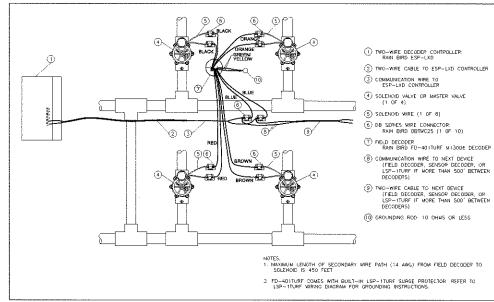


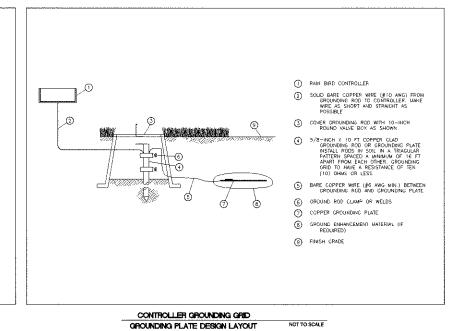


I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008









04/05/18 AS SHOUN Provin: MJ Checked RRC File Notes AMALP306DWG

VISTA RESERVE

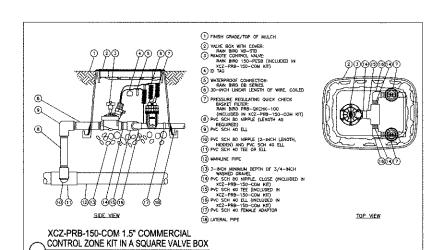
CITY OF APOPKA, FL.

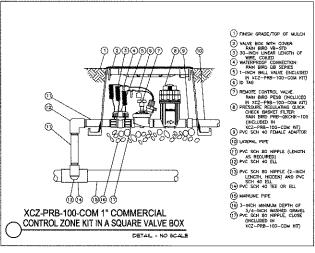
IRRIGATION

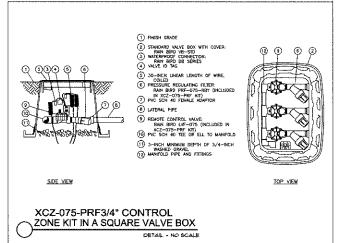
DETAILS

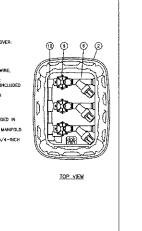
FID-40ffURF DECODER WIRING TO VALVE AND CONTROLLER

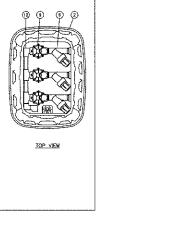
NOT TO SCALE

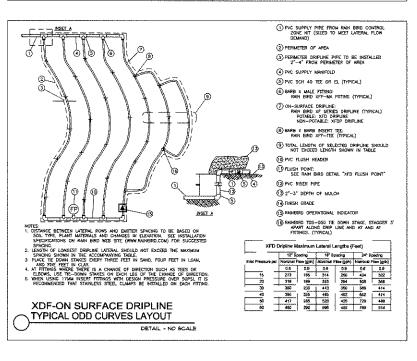


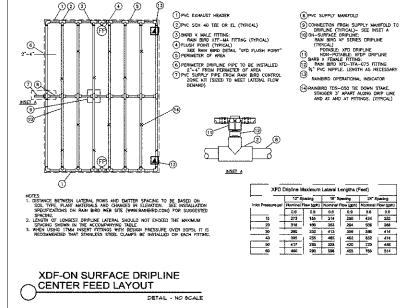


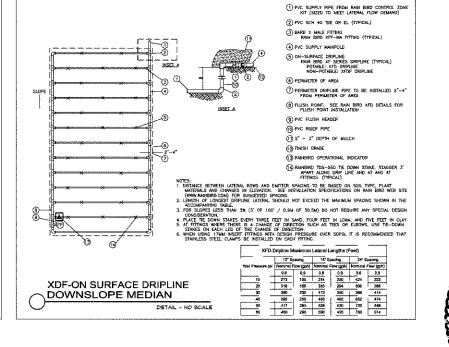


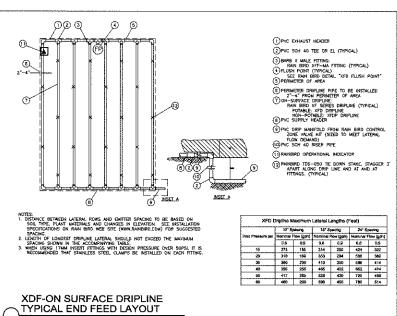


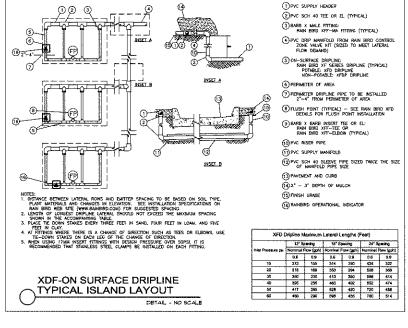


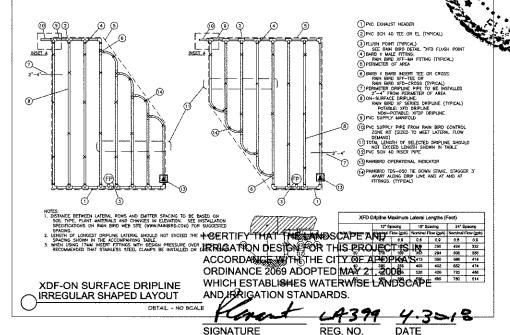






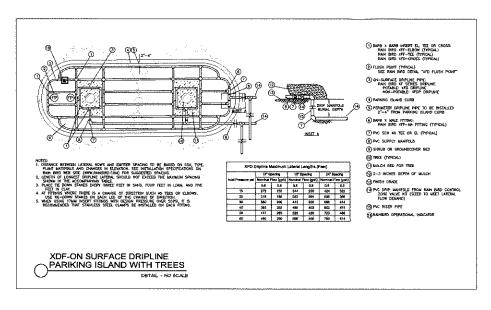


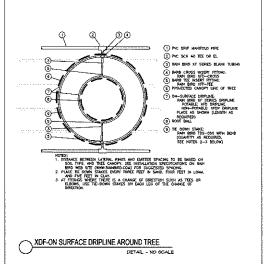


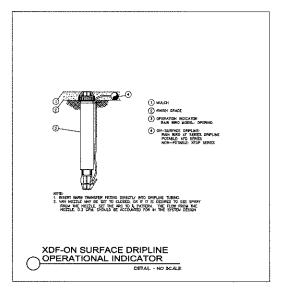


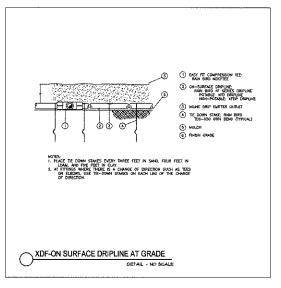
CONANT & ASSOCIATES 120 West Robinson Street Orlando, Florida 32801-1617 Phone (407) 648-2225 www.fosterconant.com

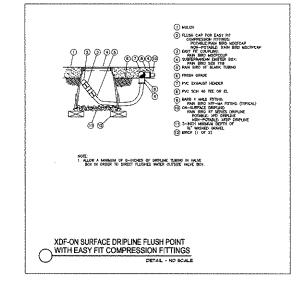
AL CONTRACTOR OF THE PROPERTY	LA 399 STATE	VISTA RESERVE
ED		CITY OF APOPKA, FL
rt)		CIT OF ALOTOCIE
ROL DW IDUŁD		IRRIGATION DETAILS
GGER 3'		Debt: 04/05/18
4* Spacers from Fish (goth) 5 0,0 4 372 6 44 372 6 441 2 474 0 486 0 514		Sale













120 West Robinson Street Orlando, Florida 32801-1617 Phone (407) 648-2225 www.fosterconant.com

A Revisions
-A
~~~
Project
rivjes

VISTA RESERVE

CITY OF APOPKA, FL

04/05/18

IRRIGATION DETAILS

LA 39: HEERTIFY THAT THE LANDSCAPE AND IESTEATION DESIGN FOR THIS PROJECT IS IN ASCURDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND HIMGATION STANDARDS.

SIGNATURE REG. NO. DATE

BERUPM: CHRISBISYSD3 ILE NAME: FYPULTE - SANTA MARIAWPYPDISAMA REFS.





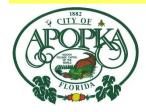












CITY OF APOPKA PLANNING COMMISSION

X PUBLIC HEARING

SITE PLAN

SPECIAL REPORTS

X OTHER: Variance

MEETING OF: June 12, 2018

FROM: Community Development

EXHIBITS: Vicinity Map

Aerial Map Zoning Map Application Site Plan

Proposed Fence

SUBJECT: BUFFER VARIANCE REQUEST – 359 WEST LESTER ROAD

REQUEST: APPROVE A VARIANCE OF THE APOPKA CODE OF ORDINANCES,

PART III, LAND DEVELOPMENT CODE, ARTICLE II, SECTION 2.02.05(H)(2), TO ALLOW A 6-FOOT TALL COMPOSITE FENCE WITHIN A 5-FOOT WIDE BUFFERYARD IN LIEU OF REQUIRED 6 FOOT TALL BRICK, STONE OR DECORATIVE BLOCK WALL WITHIN A 5-FOOT WIDE BUFFERYARD ON THE WESTERN,

NORTHERN AND EASTERN PERIMETERS.

SUMMARY:

OWNER: Laura R. Murphy c/o Luke Classon, P.E.

LOCATION: 359 West Lester Road

PARCEL ID #: 28-20-28-0000-00-060

LAND USE: Residential Low Suburban (0-3.5 unit(s)/acre)

ZONING: R-1 (Single Family Residential)

EXISTING USE: Vacant

TRACT SIZE: 19.94 +/- Acres

DISTRIBUTION

Mayor NelsonFinance DirectorPublic Services DirectorCommissionersHR DirectorRecreation DirectorCity AdministratorIT DirectorCity Clerk

Community Development Director Police Chief Fire Chief

PLANNING COMMISSION – JUNE 12, 2018 LAURA R. MURPHY - BRIDLEWOOD (FKA EQUESTRIAN CENTER) - VARIANCE REQUEST PAGE 2

VARIANCE REQUEST SUMMARY: Section 2.02.05 (H)(2) – Bufferyard requirements. Areas adjacent to agricultural districts or activities shall provide a minimum five-foot bufferyard and a minimum six-foot high brick, stone or decorative block finished wall. The applicant proposes to install a 6-foot tall composite fence in lieu of the required brick or decorative wall block on the western, northern and eastern perimeters abutting existing agricultural zoning districts or activities.

Variance Request - Code Standard, Sec. 2.02.05(G)(5) – Bufferyard requirements – Areas adjacent to agricultural districts or activities shall provide a minimum five-foot bufferyard and a minimum six-foot high brick, stone or decorative block finished wall.

Applicant Request - Allow a 6-foot tall composite fence in lieu of the required brick or decorative
wall block on the western, northern and eastern perimeters abutting existing agricultural zoning
districts or activities.

<u>VARIANCE PROCESS</u>: Per Land Development Code Section 10.02.00, the Planning Commission shall follow two steps to approve a variance:

- Step 1: Section 10.02.02.A, Limitations on Granting Variances. The Planning Commission "shall first determine whether the need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or <u>other physical or environment conditions</u> that are unique to the specific property involved." This is known as a physical hardship. If the Planning Commission makes this determination, then it must take action on the seven variance criteria set forth in Section 10.02.02.B.
- Step 2: Section 10.02.02.B, Required Findings. Once a "physical hardship" has been determined, the Planning Commission shall not vary from the requirements of any provision of the LDC unless it makes a positive finding, based on substantial competent evidence, on the seven variance criteria.

APPLICABLE CITY CODES:

1. Section 2.02.15(G)(3) – Areas adjacent to residential uses or districts shall provide a six-foot-high masonry wall within a minimum of 50-foot landscaped bufferyard.

Variance Hardship Determination (Step 1): The first step of the variance determination process is to determine if a hardship occurs pursuant to Section 10.02.02.A, "whether the need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or <u>other physical or environment conditions</u> that are unique to the specific property involved."

Staff Response:

Summary -- While active agricultural uses occur on property abutting to the east, west, and north, growth trends in the surrounding areas show transition to residential uses within the near future. These growth pressures will likely result in rising land prices and expanding housing demands pressuring adjacent properties to develop as residential communities in the near future. Furthermore, unincorporated parcel to the west and north presently have a "County" Future Land Use Designation of Low Density Residential assigned to them. This means that the County's Growth Management Plan, its Comprehensive Plan, supports and encourages residential development on the western and northern parcels.

Ponkan Road to the north is a dividing line between urban densities to the south and lower residential densities to the north. Policy in the City's Comprehensive Plan limits residential development to no more than two units per acre unless within the Wekiva Parkway Interchange Vision Plan Area. Development is encouraged by policies in the City's Comprehensive Plan to concentrate higher residential density south of

PLANNING COMMISSION – JUNE 12, 2018 LAURA R. MURPHY - BRIDLEWOOD (FKA EQUESTRIAN CENTER) - VARIANCE REQUEST PAGE 3

Ponkan Road. This policy further encourages the transition of agriculturally zoned lands south of Ponkan Road to residential use.

Other trends supporting residential development along Lester Road include: close proximity to existing and planned commercial retail and grocery stores as well as schools and regional recreation facilities (West Orange Trail). Water, sewer and reclaimed lines are accessible to the proposed Bridlewood parcel.

The parcel to the east, the Avian Recondition Center, is within the City of Apopka and assigned an Agriculture Future Land Use and Zoning.

Seven Variance Criteria Findings (Step 2): If the Planning Commission accepts the hardship in Paragraph A. above, the second step is to make a finding on the seven criteria below. The Planning Commission must make a positive finding, based on substantial competent evidence, on each of the following seven criteria:

1. There are practical difficulties in carrying out the strict letter of the regulation [in] that the requested variance relates to a hardship due to characteristics of the land and not solely on the needs of the owner.

Applicant's Response: Yes. The variance has also previously been discussed with City Staff to ensure it will conform to the intended outline of the City's comprehensive plan.

Staff's Response: No objection.

2. The variance request is not based exclusively upon a desire to reduce the cost of developing the site.

Applicant's Response: No, the request is based on what the surrounding properties with eventually become based on the City of Apopka's comprehensive plan.

Staff's Response: No objection.

3. The proposed variance will not substantially increase congestion on surrounding public streets.

Applicant's Response: No. The proposed variance will not increase congestion at all on surrounding public streets.

Staff's Response: No objection.

4. The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site.

Applicant's Response: No, the proposed variance will not diminish property values at all. The proposed variance in conjunction with the proposed development will increase surrounding property values. The variance will also not result in any alteration of the essential character of the area surrounding the site.

Staff's Response: City staff does not hold professional expertise to address property values.

5. The effect of the proposed variance is in harmony with the general intent of this code and the specific intent of the relevant subject area(s) of the code.

Applicant's Response: Yes. The proposed variance is in harmony with the general intent of the current code and the specific intent of the relevant subject area.

PLANNING COMMISSION – JUNE 12, 2018 LAURA R. MURPHY - BRIDLEWOOD (FKA EQUESTRIAN CENTER) - VARIANCE REQUEST PAGE 4

Staff Response: No objection.

6. Special conditions and circumstances do not result from the actions of the applicant.

Applicant's Response: No special conditions or circumstances do not result from the actions of the applicant.

Staff Response: No objection. The applicant does not have control over development trends along Lester Road to residential uses.

7. That the variance granted is the minimum variance which will make possible the reasonable use of the land, building or structure. The proposed variance will not create safety hazards and other detriments to the public.

Applicant's Response: Yes. The proposed variance is minor to what the current code specifies. The proposed variance will not create any safety hazards or other detriments to the public.

Staff Response: No objection.

RECOMMENDATION ACTION:

Planning Commission Role: Based on the information provided by the applicant at the hearing for the variance requested, Planning Commission must first determine that sufficient substantially competent information indicates "whether a need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved." If so, then the Planning Commission must find that substantially competent information occurs to accept each of the seven variance criteria.

Planning Staff has no objection to the proposed request. Based on recent residential development existing and proposed in this area, as well as neighborhood commercial uses proposed in the northwest intersection of Lester Road and Rock Springs Road, Staff anticipates residential development will continue on Lester Road.

Planning Commission Role: Planning Commission has the authority to approve, deny, or approve with conditions.

Note: This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

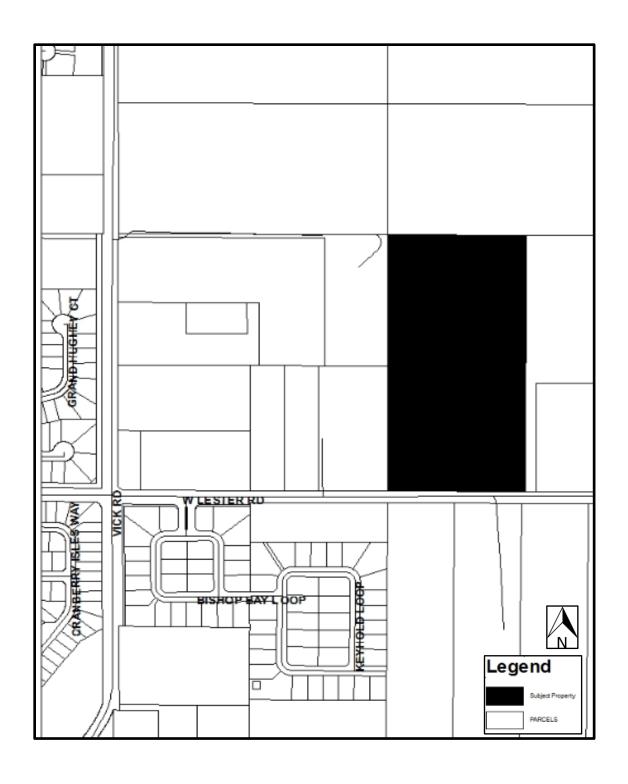
PLANNING COMMISSION – JUNE 12, 2018 LAURA R. MURPHY - BRIDLEWOOD (FKA EQUESTRIAN CENTER) - VARIANCE REQUEST PAGE 5

Owner: Laura R. Murphy c/o Luke Classon, P.E. Applicant: Luke Classon, P.E., Appian Engineering

Parcel I.D. No: 28-20-28-0000-00-060 Location: 359 West Lester Road

Total Acres: 19.94 +/- Acres

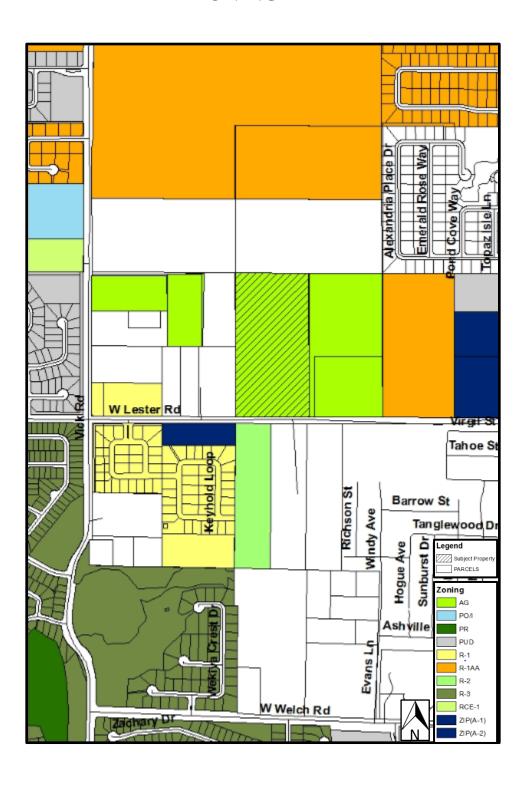
VICINITY MAP



AERIAL MAP



ZONING MAP





City of Apopka Community Development Department 120 E. Main Street, 2nd Floor, Apopka, Florida 32703 407-703-1739 - Phone -- 407-703-1791 - Fax

FOR OFFICIAL USE ONLY				
DATE SUBMITTED:				
FEE PAID: \$				
CHECK #:				
RECEIPT #:				

APPLICATION FOR VARIANCE

PUBLIC HEARING				
Check Applicable Request				
✓ Variance				
Appeal				
	Other			

Owner(s) Information												
Name:			Laura R. Murphy									
Street /	Address	s:	457 April Lane									
City:	Apopka	l	State: FL Zip: 327						32712			
Phone:	N/A	/A Fax: N/A				E-mail	l: N/A	N/A				
						Petitioner	Information	1				
Name:			Luke C	lasson								
Street /	Address	s:	2221 Lee	Road, Su	ite 17							
City:	Winter	Park	k						State:	FL	Zip:	32789
Phone:	one: (407) 960-5868 x106 Fax: 866-571-81			179	E-mai	I: Lclassor	Lclasson@appianfl.com					
	Property Information											
Parcel l	Parcel I.D. #(s): 28-20-28-0000-00-060											
Existing Land Use: RLS (Proposed) AG (Existing) Existing Zoning: R-1 (Pro					R-1 (Propose	ed) AG	(Existing)					
Existing	ing Use: Equestrian Center Prop				Proposed !	Use:	Residential D	evelopment				
Legal Description: See Attached												
Identify	y Abutti	ng R	oads:	W Lester	Road							
Size (ad	Size (acres): 19.91 Number of Lots: 52 (Proposed)											

301130	liction	Land Use	Zoning	Present Use	
Direction Circle					
City	County	LD	A-1	Agriculture	
City	County				
City	County	AG	AG	Agriculture	
City	County				
City	County	RL	Ř-2	Residential	
City	County	LM	A-2	Agriculture	
City	County				
City	County	LD	A-1	Agriculture	
request for P	ublic Hearing be	efore the Planning Comm	ission:		
uested:					
en:					
RIANCE OR R	EQUEST:				
juest for: V_a	riance to allow 6	high Polyvinyl Chloride Fe	ence in lieu of a 6' high bri	ck stone or decorative block	
for areas adjac	ent to agricultura	l districts.			
			a	<u> </u>	
in the Land D	evelopment Co	de, Section(s): 2.02.05(F	H.)(2.)		
			E.	γ	
etermination:	Provide wri	tted response to the seve	en criteria provided		
nformation:					
	\				
	-				
	15	= 2			
ce will better co	onform with the s	urrounding future residentia	l developments rather than	a brick or decorative block	
l.					
1 - 1	City City City City City City City request for P rested: In: RIANCE OR R ruest for: Va for areas adjac in the Land D retermination: Information: Ition with City S retermination:	City County City County City County City County City County City County request for Public Hearing be dested: In: RIANCE OR REQUEST: Tuest for: Variance to allow 6 for areas adjacent to agricultural in the Land Development County etermination: Provide write to with City Staff and in conjugate expected to eventually be designed.	City County City County City County City County LM City County LD request for Public Hearing before the Planning Commusested: In: IRIANCE OR REQUEST: Invest for: Variance to allow 6' high Polyvinyl Chloride Ferfor areas adjacent to agricultural districts. In the Land Development Code, Section(s): 2.02.05(Ferent Experimentation: Provide writted response to the several properties of the several properties of the several properties of the several properties of the several provides with City Staff and in conjunction with the City of Apolare expected to eventually be developed into residential substantial substanti	City County City County RL R-2 City County LM A-2 City County LD A-1 request for Public Hearing before the Planning Commission: Justed: In: RIANCE OR REQUEST: Just for: Variance to allow 6' high Polyvinyl Chloride Fence in lieu of a 6' high brid for areas adjacent to agricultural districts. In the Land Development Code, Section(s): 2.02.05(H.)(2.) etermination: Provide writted response to the seven criteria provided Information: Provide writted response to the seven criteria provided Information: It in with City Staff and in conjunction with the City of Apopka's comprehensive plan, are expected to eventually be developed into residential subdivisions. This being the care of the seven criterial subdivisions. This being the care of the seven criterial subdivisions. This being the care of the seven criterial subdivisions. This being the care of the seven criterial subdivisions. This being the care of the seven criterial subdivisions. This being the care of the seven criterial subdivisions. This being the care of the seven criterial subdivisions.	

OWNER(S) NAME:_	Laura R. Murphy

CERTIFICATION AND SIGNATURE

The owner(s) of the property <u>MUST</u> provide proof of ownership by deed <u>or</u> by submitting a letter of authorization (power of attorney) with deed attached if the application is submitted by any applicant other than the owner.

OWNER'S AUTHORIZATION IS REQUIRED AT THE TIME APPLICATION IS SUBMITTED. THIS IS A REQUIREMENT BY THE PLANNING COMMISSION.

I/We hereby certify that, to the best of my (our) knowledge and belief, all information contained herein and all information supplied with this application is true and accurate.

I/We, the undersigned owner(s) for the Planning Commission action on the above described property in the City of Apopka, Florida, do hereby agree to Indemnify and Hold Harmless the City of Apopka, Florida, its elected officials, officers, agents, and assigns for any and all damages, attorney fees and costs incurred by said City in any instance in which the City must expend funds and/or defend its decisions regarding the granting of the above referenced application.

	By: Jama P Murday
	Owner(s) of Record (Signature)
	Ву:
	Owner(s) of Record (Signature)
STATE OF FLORIDA COUNTY OF ORANGE	
The foregoing instrument was acknowledged before me on this	8th day of March 2018 by
Laura Murphy	who is personally known to me or has produced
KNOWN	as Identification and who did / did not (circle one) take an oath.
	Nefoza llen
	Notary Public (Signature)
My Commission Expires: 11/22/2019	NAFEEZA KHAN
Wy Commiscion Expires:	Notary Public (Print Name)
NAFEEZA A. KHAN Notary Public, State of Florida Commission# FF 938294 My comm. expires Nov. 22, 2019	

APPLICATION FEES						
Variance:	Single Family Lot	\$150.00				
	All other	\$300.00				
Appeal to the City Council:		\$150.00				

	GENERAL INFORMATION				
1.	Submittal deadline, first working day of each month.				
2.	This Petition requires a Public Hearing.				
3.	Public Hearing procedures as set forth in the Apopka Municipal Code shall be followed.				
4.	No portion of the submittal fee will be refunded after petition has been submitted.				
5.	The applicant, or a representative, must be present at the public hearing. The Planning				
	Commission, at its discretion, may defer action or take decisive action on any application. If you				
	are not present, the Planning Commission MAY deny your request.				
6.	No permit shall be issued on this request until thirty (30) days after approval by the Planning				
	Commission, and then only if no appeal has been made to the City Council.				
7.	Appeals from the decision of the Planning Commission may be made to the City Council within				
	thirty (30) days from the date of that decision. Any aggrieved party may appeal.				
8.	Costs incurred in addition to established fees for advertising, City Attorney, postage or				
	consultant expenses must be paid to the City.				

	ITEMS REQUIRED FOR SUBMITTAL				
1.	An application for public hearing must be accompanied by the filing fee.				
2.	Completed typed hold harmless agreement and notarized signature of all owners of record.				
3.	Legal Title opinion or certification as to Fee Simple Title Owner(s).				
4.	Current Survey of subject property with Legal Description and Vicinity Map.				
5.	One typed list of property owners who own property within 300' of the subject property. Include				
	their name, address, and property identification number from the latest County tax assessment				
	roll, with County tax map identifying property (format provided by City).				
6.	Written response to hardship criteria listed in Attachment "A."				
7.	If Applicant is not the owner of record of the subject property, a Power of Attorney shall be				
	submitted with application.				
8.	Any additional information which may be useful to or required by the City.				

CITY OF APOPKA

SURROUNDING OWNERS NAME AND ADDRESS INSTRUCTIONS

THE FOLLOWING INSTRUCTIONS ARE PROVIDED TO HELP APPLICANTS COMPLETE THE ATTACHED 300 FOOT TABLE AND OBTAIN THE SURROUNDING PROPERTY OWNERS NAMES AND ADDRESSES.

INSTRUCTIONS

- Go to the Orange County Property Appraiser's Office and tell them you need to obtain owners information within the surrounding 300 feet* for which is change in zoning, a variance, a special exception, etc. is being requested. OR
 - Visit them online at www.ocpafl.org to obtain the information yourself.
- 2. Provide OCPA the legal description, tax ID numbers, and/or boundary survey of the subject property to assist them in locating the appropriate tax map(s).
- 3. OCPA provides a computer so that you can access lot/parcel owner information as shown on their tax map(s).
- 4. Complete the attached 300 Foot Table form with the surrounding property owner information obtained from OCPA. Include: NAME, ADDRESS, SUBDIVISION, LOT, AND TRACT/BLOCK (or parcel).

NOTE: For the purpose of this requirement, "surrounding property owners" means all owners within 300 feet of the subject property lines of the land for which a proposed change is being sought; an further, owners land which lies outside the City limits only if those lands abut the applicant's parcel.

ITEMS TO BRING TO THE PROPERTY APPARISER'S OFFICE

- 1. Legal description (boundary survey if available).
- 2. Property tax receipts.
- 3. Several copies of the 300 Foot Table (attached)
- 4. Ruler May assist in measuring the 300 foot area.
- 5. \$\$\$ Applicable printing fees required by the tax office.

ORANGE COUNTY PROPERTY APPRAISER'S OFFICE LOCATION

200 S. Orange Avenue (At the Corner of Church Street and Orange Avenue) SunTrust Building, 17th Floor Orlando, Florida 32801-3438 407-836-5044 (P)

www.ocpafl.org

VERIFICATION OF NAMES AND ADDRESSES

- 1. The Applicant, or designated representative, shall be responsible for obtaining the correct names and addresses of all surrounding property owners and notifying them. The names and addresses shall be those appearing on the most current tax rolls of Orange County, Florida. Complete notification requirements shall be in accordance with the City's Land Development Code, Article XII, Section 12.04.04.
- Prior to notifying surrounding owners, please obtain a Public Hearing Schedule from the City's Community
 Development Department, which will provide further information and mailing instructions.

IF YOU HAVE ANY QUESTIONS CONCERNING THESE INSTRUCTIONS, PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 407-703-1739.

CONTACT PERSON: David B. Moon, Planning Manager

AFFIDAVIT INSTRUCTIONS

The applicant is responsible for mailing a public hearing notice **via certified mail and posting the property** within 14 days of the schedule Planning Commission meeting.

This Affidavit must be completed by the Applicant to verify the notice was mailed to the surrounding property owners (i.e. 300 foot list) and that the subject property was posted. The notice and poster are provided by the City after the request is filed.

RETURN THE COMPLETED ORIGINAL AFFIDAVIT TO THE COMMUNITY DEVELOPMENT DEPARTMENT

	NOTICE/POSTE OWNER AF			•	
COUN	E OF FLORIDA ITY OF ORANGE OF APOPKA				
BEFO who b	RE ME, the undersigned authority, this day personally eing by me first duly sworn, deposes and says:	appear	ed		
F	Annexation Rezoning Future Land Use Change For that certain parcel of property as more particularly dexhibit "A."		Special Zoning \ Other: _	Exception Variance	
s	That notices were sent by certified mail return receipt subject property on: A list of all property owners so notified, by certified mail receipt card, and property identification is attached here	eturn re	eceipt requ	uested, with their mailing add	(Date)
3. 7	Γhat the subject property was POSTED, visible from a r	normally	y traveled	public right-of-way on:	(Date)
Ву: _	Owner(s) of Record (Signature)		By: _	Owner(s) of Record (S	iignature)
-	(Print Name)			(Print Name))
	E OF FLORIDA NTY OF ORANGE				
The fo	oregoing instrument was acknowledged before me on this	who	is persor	ofnally known to me or in the content of the	has produced
Му	Commission Expires:			Notary Public (Signat	,

Rev. 03-14-17

ATTACHMENT "A"

Applicant's Demonstration of a Hardship Variance Application

Pursuant to Section 10.02.02.B. of the Apopka Land Development Code, an applicant requesting a variance must address in writing the seven criteria listed below.

Required findings. The [Planning Commission] shall not vary the requirements of any provision of this code unless the board makes a positive finding, based on substantial competent evidence, on each of the following:

- 1. There are practical difficulties in carrying out the strict letter of the regulation [in] that the requested variance relates to a hardship due to characteristics of the land and not solely on the needs of the owner.
- 2. The variance request is not based exclusively upon a desire to reduce the cost of developing the site.
- 3. The proposed variance will not substantially increase congestion on surrounding public streets.
- 4. The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site.
- 5. The effect of the proposed variance is in harmony with the general intent of this code and the specific intent of the relevant subject area(s) of the code.
- 6. Special conditions and circumstances do not result from the actions of the applicant.
- 7. That the variance granted is the minimum variance which will make possible the reasonable use of the land, building or structure. The proposed variance will not create safety hazards and other detriments to the public.

City of Apopka – Community Development Attn: Mr. Jean Sanchez, Planner I 120 E. Main Street Apopka, FL 32703

Re: Equestrian Center Subdivision Application for Variance Response to Hardship Criteria

DEAR MRS. SANCHEZ:

Appian Engineering, LLC, is pleased to submit this narrative as responses to the Hardship Criteria outlined under attachment 'A' of the Application for Variance Request. This Application for Variance is being submitted as part of the Equestrian Center Subdivision located at 359 W. Lester Road in Apopka FL.

More specifically, the responses are detailed in bold for each Hardship Criteria for your review and approval.

We appreciate the opportunity to provide this response. Should you have any questions regarding its contents or if we can be of further assistance in any way, please do not hesitate to contact us at your convenience.

VERY TRULY YOURS,
APPIAN ENGINEERING CONSULTANTS LLC

Luke M. Classon, P.E.

Tel Ele

Principal / Sr. Project Manager

MARCH 22, 2018

Demonstration of Hardship Findings/Comments

1. There are practical difficulties in carrying out the strict letter of the regulation [in] that the requested variance relates to a hardship due to characteristics of the land and not solely on the needs of the owner.

Response: Yes. The variance has also previously been discussed with City Staff to ensure it will conform with the intended outline of the City's comprehensive plan.

2. The variance request is not based exclusively upon a desire to reduce the cost of developing the site.

Response: No, the request is based on what the surrounding properties will eventually become based on the City of Apopka's comprehensive plan.

3. The proposed variance will not substantially increase congestion on surrounding public streets.

Response: No. The proposed variance will not increase congestion at all on surrounding public streets.

4. The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site.

Response: No, the proposed variance will not diminish property values at all. The proposed variance in conjunction with the proposed development will increase surrounding property values. The variance will also not result in any alteration of the essential character of the area surrounding the site.

5. The effect of the proposed variance is in harmony with the general intent of this code and the specific intent of the relevant subject area(s) of the code.

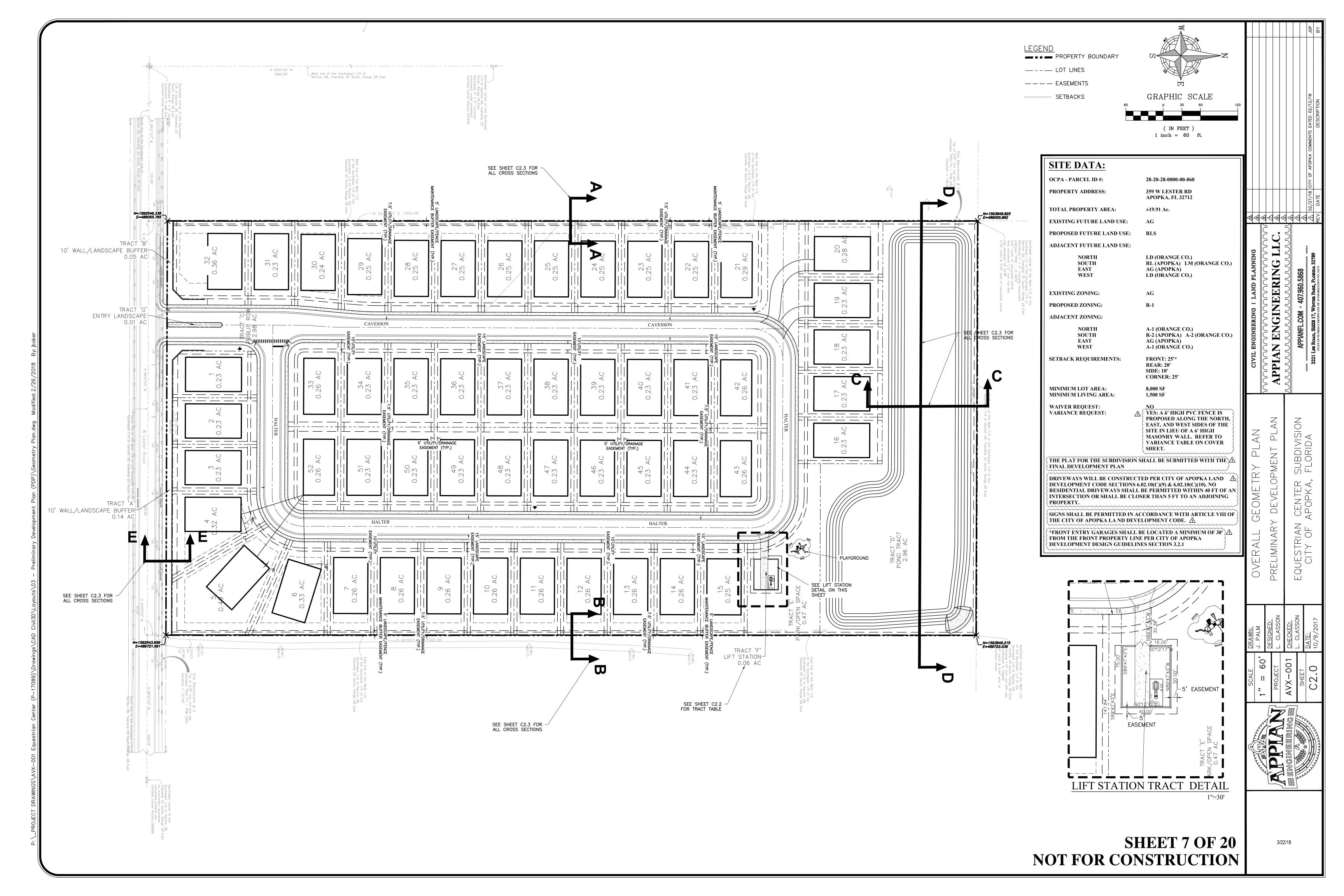
Response: Yes. The proposed variance is in harmony with the general intent of the current code and the specific intent of the relevant subject area.

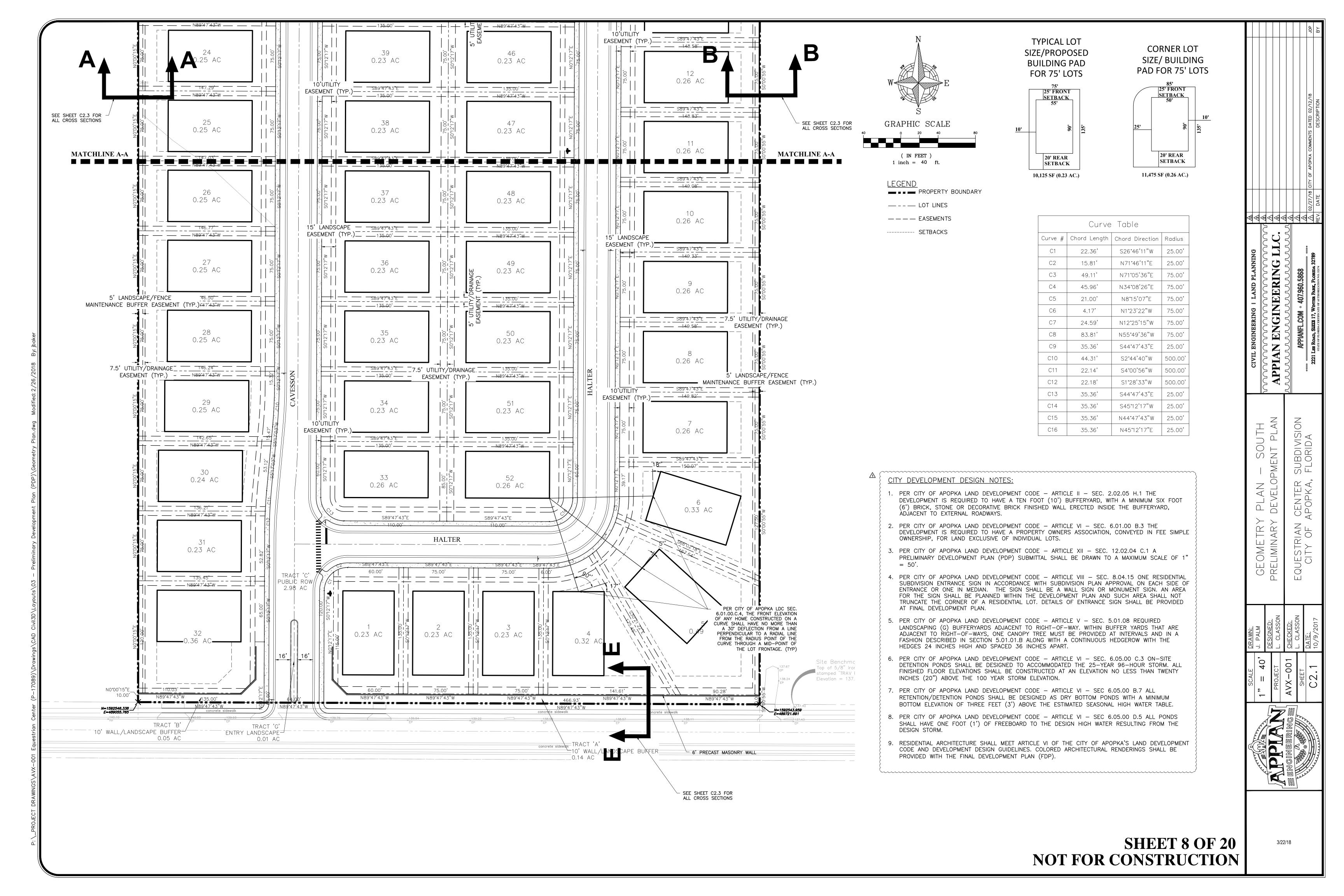
6. Special conditions and circumstances do not result from the actions of the applicant.

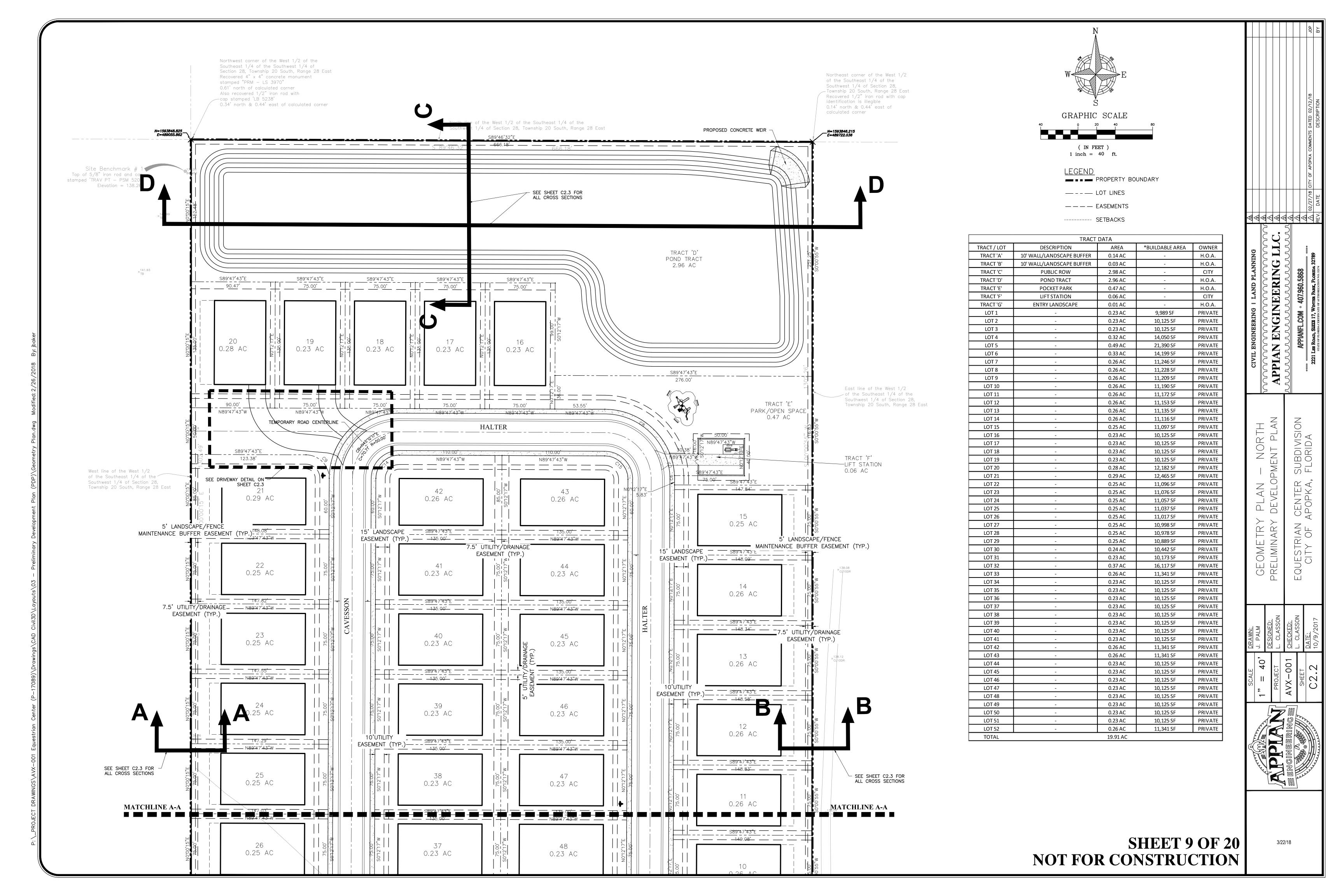
Response: No special conditions or circumstances do not result from the actions of the applicant.

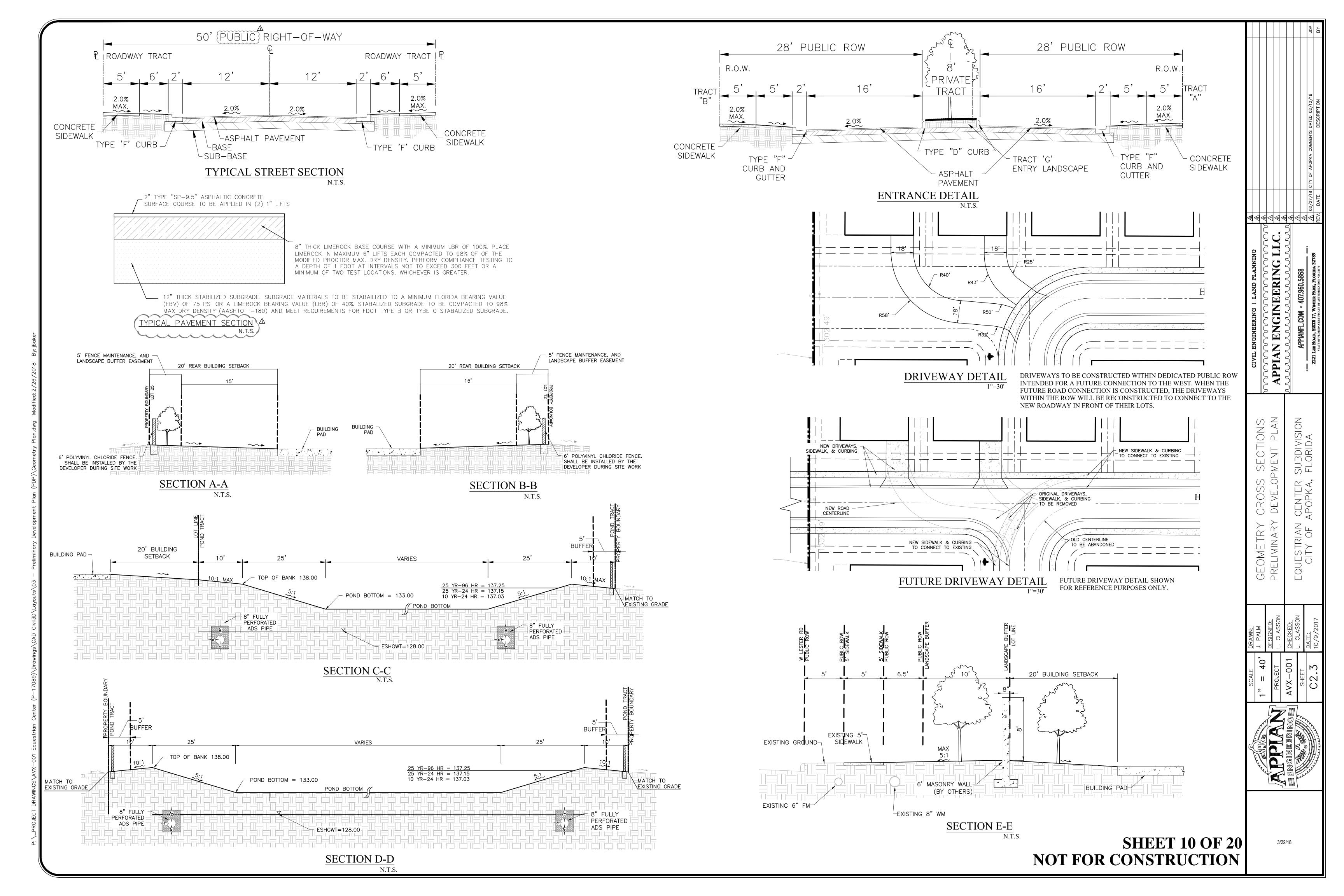
7. That the variance granted is the minimum variance which will make possible the reasonable use of the land, building or structure. The proposed variance will not create safety hazards and other detriments to the public.

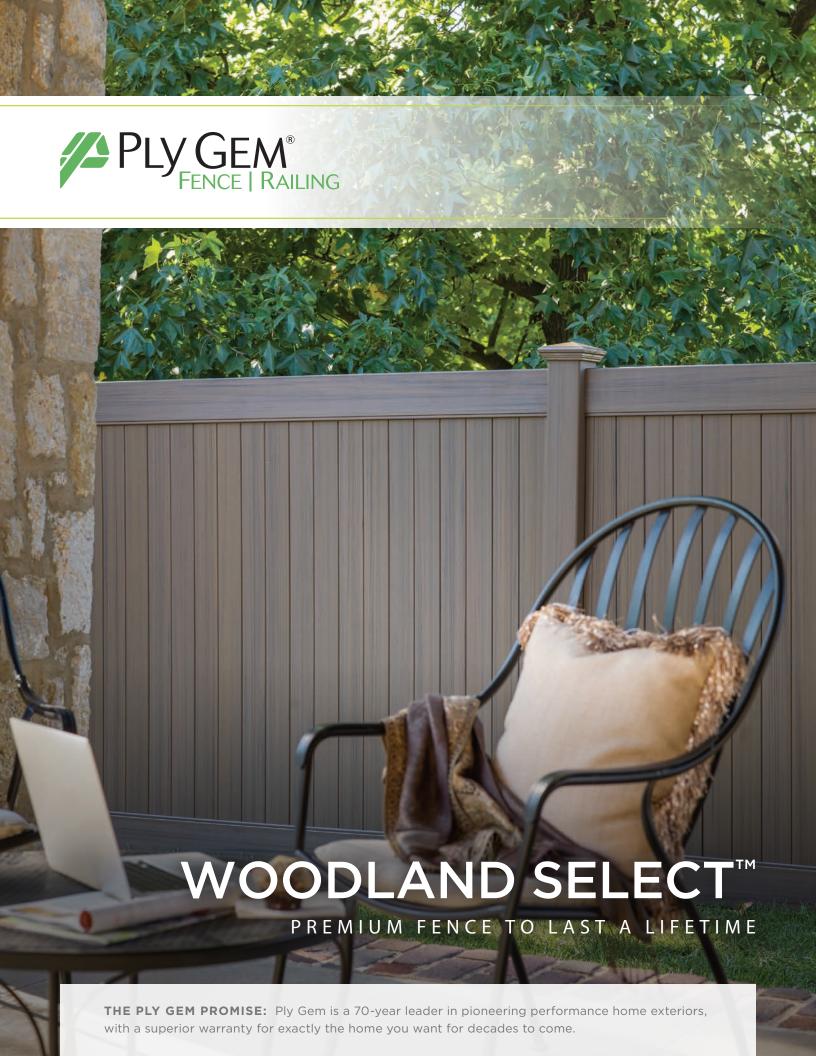
Response: Yes. The proposed variance is minor to what the current code specifies. The proposed variance will not create any safety hazards or other detriments to the public.

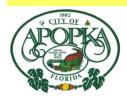












CITY OF APOPKA PLANNING COMMISSION

X PUBLIC HEARING

SITE PLAN

SPECIAL REPORTS

X OTHER: Variance

MEETING OF: June 12, 2018

FROM: Community Development

EXHIBITS: Vicinity Map

Aerial Map Zoning Map Application Site Plan

Proposed Fence

OCPS DRC Comments

SUBJECT: BUFFER VARIANCE REQUEST – 501 OLD DIXIE HIGHWAY

REQUEST: APPROVE A VARIANCE OF THE APOPKA CODE OF ORDINANCES,

PART III, LAND DEVELOPMENT CODE, ARTICLE II, SECTION 2.02.07(H)(1)(a), TO ALLOW A 6-FOOT HIGH ALUMINUM FENCE WITH MASONRY COLUMNS FOR PORTIONS OF THE PROPOSED WALL LENGTH AND A 6-FOOT HIGH VINYL FENCE AS PART OF SCREENING IN AREAS ADJACENT TO NORTH BRADSHAW ROAD OR EASTERN PROPERTY LINE IN LIEU OF REQUIRED 6 FOOT TALL BRICK, STONE

OR DECORATIVE BLOCK WALL.

SUMMARY:

OWNER: TGINF, LLC c/o Alan Goldberg

LOCATION: 501 Old Dixie Highway

PARCEL ID #: 09-21-28-0000-00-006

LAND USE: Medium Low Density Residential (0 - 7.5 du/ac)

ZONING: R-3 (Residential Multiple-Family)

EXISTING USE: Vacant

TRACT SIZE: 15.88 +/- Acres

DISTRIBUTION

Mayor Nelson Finance Director Public Services Director Commissioners HR Director Recreation Director

City Administrator IT Director City Clerk
Community Development Director Police Chief Fire Chief

<u>VARIANCE REQUEST SUMMARY</u>: Section 2.02.07(H)(1)(a) – Bufferyard requirements. A six-foothigh brick, stone or decorative block finished wall adjacent to all external roadways, erected inside a minimum ten-foot landscaped bufferyard. Landscape material shall be placed adjacent to the right-of-way on the exterior of the buffer wall. The city may allow the developer the option to provide up to 50 percent of the buffer wall length in a six-foot wrought iron fence between solid columns. The columns shall be a minimum of 32 feet off-set and shall have a stone, brick or decorative block finish.

Variance Request - Code Standard, Sec. 2.02.07(H)(1)(a) - Bufferyard requirements - A six-foot-high brick, stone or decorative block finished wall adjacent to all external roadways, erected inside a minimum ten-foot landscaped bufferyard..

• Applicant Request - Allow a 6' high masonry wall or 6' high aluminum fence with columns for 50% of the proposed wall length and the use of a 6' high vinyl fence or a landscape barrier as a screening method in areas with excessive sloping conditions for a substitute to the required six-foot-high brick, stone or decorative block finished wall adjacent to the North Bradshaw Road or eastern property line.

<u>VARIANCE PROCESS</u>: Per Land Development Code Section 10.02.00, the Planning Commission shall follow two steps to approve a variance:

- Step 1: Section 10.02.02.A, Limitations on Granting Variances. The Planning Commission "shall first determine whether the need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved." This is known as a physical hardship. If the Planning Commission makes this determination, then it must take action on the seven variance criteria set forth in Section 10.02.02.B.
- Step 2: Section 10.02.02.B, Required Findings. Once a "physical hardship" has been determined, the Planning Commission shall not vary from the requirements of any provision of the LDC unless it makes a positive finding, based on substantial competent evidence, on the seven variance criteria.

APPLICABLE CITY CODES:

1. Section 2.02.15(G)(3) – Areas adjacent to residential uses or districts shall provide a six-foot-high masonry wall within a minimum of 50-foot landscaped bufferyard.

Variance Hardship Determination (Step 1): The first step of the variance determination process is to determine if a hardship occurs pursuant to Section 10.02.02.A, "whether the need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved."

Staff Response: Staff supports a physical and environmental condition hardship because wetlands extend across the North Bradshaw Road right-of-way, and grade. A staff recommendation is provided herein.

Seven Variance Criteria Findings (Step 2): If the Planning Commission accepts the hardship in Paragraph A. above, the second step is to make a finding on the seven criteria below. The Planning Commission must make a positive finding, based on substantial competent evidence, on each of the following seven criteria:

PLANNING COMMISSION – JUNE 12, 2018 TGINF, LLC - HIDDEN LAKE - VARIANCE REQUEST PAGE 3

1. There are practical difficulties in carrying out the strict letter of the regulation [in] that the requested variance relates to a hardship due to characteristics of the land and not solely on the needs of the owner.

Applicant's Response: Yes. The variance has also previously been discussed with City Staff to ensure it will conform to the intended outline of the City's comprehensive plan. The Hidden Lake Reserve eastern property line abuts the existing 25' wide North Bradshaw Road right-of-way. Currently, North Bradshaw Road is an unimproved right-of-way. Wetlands extend across the right-of-way, creating a difficulty to construct a tenfoot buffer and a brick wall. In addition, the Hidden Lake Reserve natural topography has excessive slopes to the unnamed waterbody. This sloping condition is most prominent along the eastern property line (North Bradshaw Road).

Staff's Response: No objection.

2. The variance request is not based exclusively upon a desire to reduce the cost of developing the site.

Applicant's Response: The Hidden Lake Reserve grading must address excessive sloping while meeting existing grades along the eastern property line. This sloping condition provides challenges in the constructability of a brick, stone or decorative block wall to screen an unimproved right-of-way, while dealing with an existing waterbody.

Staff's Response: No objection.

3. The proposed variance will not substantially increase congestion on surrounding public streets.

Applicant's Response: The Hidden Lake Reserve eastern bufferyard proposes a screening option and will not increase congestion on any surrounding public streets. Additionally, there is no increase in the proposed PDP application units or traffic distribution to the unimproved North Bradshaw Road.

Staff's Response: No objection.

4. The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site.

Applicant's Response: The proposed Hidden Lake Reserve eastern bufferyard will not diminish property values, nor alter the essential character of the area surrounding the site. The subject property will provide the code required bufferyard width along the eastern property line.

Staff's Response: City staff does not hold professional expertise to address property values.

5. The effect of the proposed variance is in harmony with the general intent of this code and the specific intent of the relevant subject area(s) of the code.

Applicant's Response: The proposed Hidden Lake Reserve eastern bufferyard is in harmony with the intent of this code. The subject property will provide a 10' wide

PLANNING COMMISSION – JUNE 12, 2018 TGINF, LLC - HIDDEN LAKE - VARIANCE REQUEST PAGE 4

landscaped bufferyard with optional forms of screening methods, which is the intent of the minimum 10' wide bufferyard with six-foot-high brick, stone or decorative block finished wall.

Staff Response: No objection.

6. Special conditions and circumstances do not result from the actions of the applicant.

Applicant's Response: The proposed Hidden Lake Reserve eastern bufferyard will not create a special condition or circumstance. The subject property will provide a 10' wide landscaped bufferyard with optional forms of screening methods.

Staff Response: No objection.

7. That the variance granted is the minimum variance which will make possible the reasonable use of the land, building or structure. The proposed variance will not create safety hazards and other detriments to the public.

Applicant's Response: The proposed Hidden Lake Reserve eastern bufferyard will provide a 10' wide landscaped bufferyard with a minimum 6' high vinyl fence or landscape barrier as a screening method on excessively sloped areas of the site. Utilizing the use of a fence or landscape barrier will allow a more constructible screening method on the excessive slopes, thus providing a minimum variance from the code. The subject property will provide the code required bufferyard width and will not create a safety hazard or detriment to the public.

Staff Response: No objection.

RECOMMENDATION ACTION:

Planning Commission Role: Based on the information provided by the applicant at the hearing for the variance requested, Planning Commission must first determine that sufficient substantially competent information indicates "whether a need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved." If so, then the Planning Commission must find that substantially competent information occurs to accept each of the seven variance criteria.

Planning Commission Role: Planning Commission has the authority to approve, deny, or approve with conditions the requested variance.

If Planning Commission approves the Variance, the following language is recommended:

Staff supports the following:

- (a) North of the lake -- A six-foot high brick wall and ten-foot buffer tract shall run from the northeast corner to a point nearest the lift station. From that point south, a wrought-iron style fence or brick wall shall extend sourthward to a point no closer than 25 feet from the wetland line. Staff supports variance to waive the brick wall from the southern-most upland buffer line to the northern-most 25-foot upland buffer line); and
- (b) South of the Lake: A six-foot high brick wall shall extend from the southwest corner to the north-south apex, and a wrought-iron or brick wall shall be constructed to a point within 25 feet of the wetland line.

Applicant requests: Approve a variance from Section 2.02.07(H)(1)(a), Land Development Code, to allow a 6-foot tall vinyl fence 239 feet from the most southeastern point of the parcel along N. Bradshaw Road to the conservation point, 282 feet at length. As well as, a vinyl fence after 273 feet from the most northeastern point to the lift station on N. Bradshaw Road to the conservation point, 141 feet at length. The variance shall expire at the time the site redevelops, allowing conformance to the buffer requirements applicable at that time.

Note: This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

PLANNING COMMISSION – JUNE 12, 2018 TGINF, LLC - HIDDEN LAKE - VARIANCE REQUEST PAGE 6

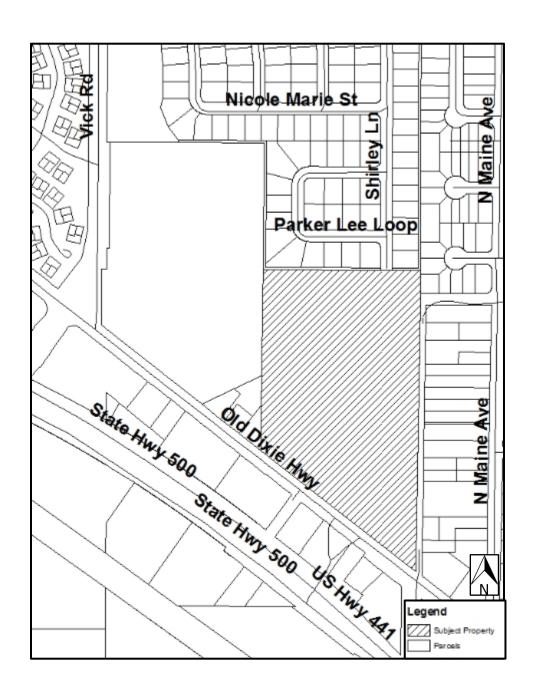
Owner: TGINF, LLC c/o Alan Goldberg

Applicant: Alan Goldberg

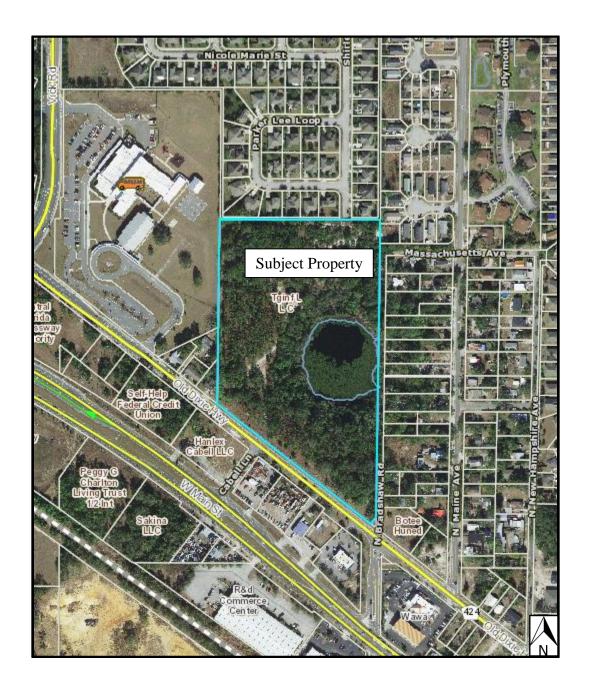
Parcel I.D. No: 09-21-28-0000-00-006 Location: 501 Old Dixie Highway

Total Acres: 15.88 +/- Acres

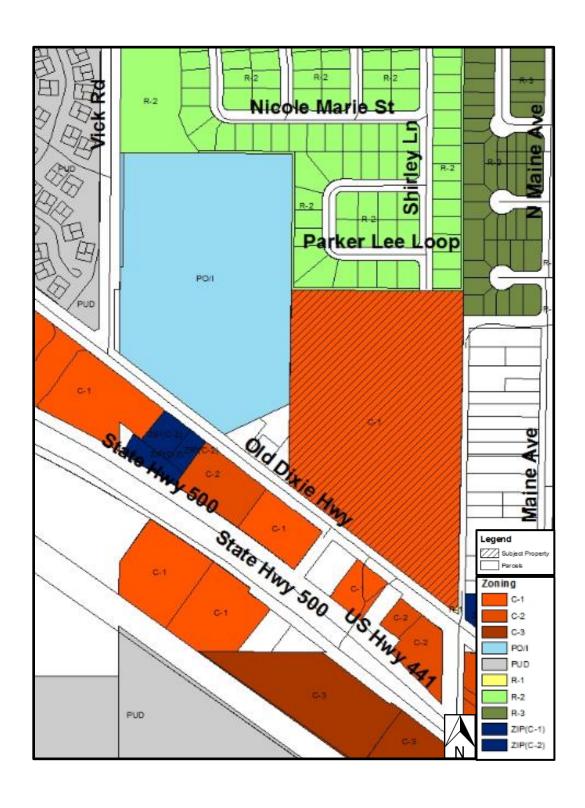
VICINITY MAP



AERIAL MAP



ZONING MAP





Name:

VAR18-06

Street Address:

Tginf LLC

307 Beloit Ave

City of Apopka **Community Development Department** 120 E. Main Street, 2nd Floor, Apopka, Florida 32703 407-703-1739 - Phone -- 407-703-1791 - Fax

APPLICATION FOR VARIANCE

PUE	BLIC HEARING			
Check	Applicable Request			
Χ	X Variance			
	Appeal			
	Other			

Owner(s) Information

FOR OFFICIAL USE ONLY-					
DATE SUBMITTED:	5-4-18				
FEE PAID: \$	300.00				
CHECK #:	133				
RECEIPT#:	96259				

State:	FL	Zip:	32789
Г			
State:	FL	Zip:	32789
goldg	ator@gn	nail.com	
La montane de constituente de la			
<u>-</u>	Б.		

HIDDEN LAKE RESERVE

LEGAL DESCRIPTION:

A PARCEL OF LAND LYING IN SECTIONS 4 AND 9, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SECTION 4, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN 589'58'13"E, ALONG THE SOUTH LINE OF SAID SECTION 4, A DISTANCE OF 667.39 FEET TO THE SOUTHEAST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 4, AND THE POINT OF BEGINNING; THENCE RUN NO0'02'44"E ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 4, A DISTANCE OF 122.09 FEET; THENCE RUN S89'54'14"E, A DISTANCE OF 667.28 FEET; THENCE RUN S00'00'19"E, A DISTANCE OF 1239.25 FEET; THENCE RUN S38'01'52"W, A DISTANCE OF 46.02 FEET TO THE NORTH RIGHT-OF-WAY LINE OF STATE ROAD 424 - DIXIE HIGHWAY; THENCE RUN N51'58'08"W, ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 812.09 FEET; THENCE RUN N00'02'44"E, A DISTANCE OF 654.21 FEET TO THE POINT OF BEGINNING.

CONTAINING 15.876 ACRES MORE OR LESS (AS CALCULATED PER SURVEYOR'S BOUNDARY).

Direction	i e	diction	Land	Use	Zoning	Present Use		
Direction	Circl	e One						
North	City	County	RES LOW		R-1	Single family residential		
100.00	City	County		The conference of the conferen				
East	City	County	LMDR		R-1	Single family residences		
	City	County						
South	City	County	COMM		C-1 & C-2	various commercial uses		
Journ	City	County	COMM		C-1	various commercial uses		
West	City	County	INST/PUBLIC		PO/1	Apopka Elementary		
	City	County	INST		R-2	Single family residences		
Date of last	request for P	ublic Hearing b	efore the Planni	ng Commission:				
Action Requ	ested:	n/a						
Action Taker		n/a						
TYPE OF VAI This is a requ	RIANCE OR R	EQUEST:						
As set forth i	in the Land D	evelopment Co	ode, Section(s):	See attached.				
Hardshin De	termination:	Provide wr	itted response to	o the seven crite	ria provided			
marusinp be	cerrimation.	T TOVIGE WI		The seven criter	ma provided			
Additional In	formation:	See attack	ned.					
ete di Provincia più con proprio non contrata de desay dell'are consens	ne ann aire ann an am bhaig Angair ann air Phòr Mainneachta (Albannian Chainn	and \$1, are constructed an electric residence from the constitution of the residence and the constitution and the	COLOGO CON CONTRACTOR AND CONTRACTOR CONTRAC			THE RESIDENCE OF THE PROPERTY		
					iy estilan _{da} r inn i jällen egilligillistinnitelle elikillistikalikni sedi tet eskirane			
		and the second	······································			video para carina fara cara cara para para para para para p		
	ellenflusiver en vor nærstå elde tre kriste som trojd protilikerskommer visjere besk	ning waaroo 1994 days sagis 666 da ah 646 da 1995 da 1	naco con casa da de se a de casa de ca			на установа и почени на предоставления на предоставления почения на предоставления почения на предоставления на предост		
	first new areas and side trapped and middle sides when sides Carlo							

Application	for	Variance
Page 3		

OWNER(S) NAME:

CERTIFICATION AND SIGNATURE

The owner(s) of the property <u>MUST</u> provide proof of ownership by deed <u>or</u> by submitting a letter of authorization (power of attorney) with deed attached if the application is submitted by any applicant other than the owner.

OWNER'S AUTHORIZATION IS REQUIRED AT THE TIME APPLICATION IS SUBMITTED. THIS IS A REQUIREMENT BY THE PLANNING COMMISSION.

I/We hereby certify that, to the best of my (our) knowledge and belief, all information contained herein and all information supplied with this application is true and accurate.

I/We, the undersigned owner(s) for the Planning Commission action on the above described property in the City of Apopka, Florida, do hereby agree to Indemnify and Hold Harmless the City of Apopka, Florida, its elected officials, officers, agents, and assigns for any and all damages, attorney fees and costs incurred by said City in any instance in which the City must expend funds and/or defend its decisions regarding the granting of the above referenced application.

By:

Owner(s) of Record (Signature)

Allan Goldberg, Manager

See Owner Authorization

Owner(s) of Record (Signature)

Notary Public (Print Name)

STATE OF FLORIDA COUNTY OF ORANGE

The foregoing instrument w	aş acknowled	dged before me on this	3	day of	Non	4,000	, 20	18, by
Allan Gold	berg		who	is personally	known to	me or	has	produced
			as Ider	ntification and wh	o did / did no	ot (circle or	ne) take	an oath.
	LOTARY PUBLIC	NICOLE MARTIN		X	Magle	Me	arl	th
	* 226 *	MY COMMISSION # FF 114556			Notary P	ublic (Sign	ature)	
My Commission Expires:	ATE OF FLORIOT	EXPIRES: August 5, 2018 Bonded Thru Budget Notary Services			icole	M	ar	tin

Re:

HIDDEN LAKE RESERVE PARCEL ID: 09-21-28-0000-00-006 ADDRESS: 501 OLD DIXIE HWY

To Whom It May Concern:

On behalf of TGINF LLC, I authorize Allan Goldberg of Old Dixie 15, LLC to apply for and obtain permits from County/City Government, Water Management District, Florida Department of Environmental Protection, Florida Department of Transportation, Army Corps of Engineers and any other municipality or regulatory entity requiring permits be issued.

I also authorize Old Dixie 15. LLC to the legal authority to provide access to the above referenced property on my behalf.

TGINF LLC Manager

Sworn to and	subscribed befo	re me this	- 6 th _	day of	February	, 2018, by
James Te	èl	He/She is p	personally	known to	ne or has pro	
identification.	Type of identific	cation F	L Di	· · · · · · · · · · · · · · · · · · ·		

Notary Public: CSTEM-

Name: Exaterina Stepkova Commission No: GG 142696 Commission Expires: September 13, 2021



OWNER(S) NAME:	
----------------	--

	APPLICATION FEES	
Variance:	Single Family Lot	\$150.00
	All other	\$300.00
Appeal to the City Co	ouncil:	\$150.00

	GENERAL INFORMATION
1.	Submittal deadline, first working day of each month.
2.	This Petition requires a Public Hearing.
3.	Public Hearing procedures as set forth in the Apopka Municipal Code shall be followed.
4.	No portion of the submittal fee will be refunded after petition has been submitted.
5.	The applicant, or a representative, must be present at the public hearing. The Planning
	Commission, at its discretion, may defer action or take decisive action on any application. If you
	are not present, the Planning Commission MAY deny your request.
6.	No permit shall be issued on this request until thirty (30) days after approval by the Planning
	Commission, and then only if no appeal has been made to the City Council.
7.	Appeals from the decision of the Planning Commission may be made to the City Council within
	thirty (30) days from the date of that decision. Any aggrieved party may appeal.
8.	Costs incurred in addition to established fees for advertising, City Attorney, postage or
	consultant expenses must be paid to the City.

-	ITEMS REQUIRED FOR SUBMITTAL
1.	An application for public hearing must be accompanied by the filing fee.
2.	Completed typed hold harmless agreement and notarized signature of all owners of record.
3.	Legal Title opinion or certification as to Fee Simple Title Owner(s).
4.	Current Survey of subject property with Legal Description and Vicinity Map.
5.	One typed list of property owners who own property within 300' of the subject property. Include
	their name, address, and property identification number from the latest County tax assessment
	roll, with County tax map identifying property (format provided by City).
6.	Written response to hardship criteria listed in Attachment "A."
7.	If Applicant is not the owner of record of the subject property, a Power of Attorney shall be
	submitted with application.
8.	Any additional information which may be useful to or required by the City.

CITY OF APOPKA

SURROUNDING OWNERS NAME AND ADDRESS INSTRUCTIONS

THE FOLLOWING INSTRUCTIONS ARE PROVIDED TO HELP APPLICANTS COMPLETE THE ATTACHED 300 FOOT TABLE AND OBTAIN THE SURROUNDING PROPERTY OWNERS NAMES AND ADDRESSES.

INSTRUCTIONS Go to the Orange County Property Appraiser's Office and tell them you need to obtain owners information within the surrounding 300 feet* for which is change in zoning, a variance, a special exception, etc. is being requested. Visit them online at www.ocpafl.org to obtain the information yourself. Provide OCPA the legal description, tax ID numbers, and/or boundary survey of the subject property to assist them in locating the appropriate tax map(s). OCPA provides a computer so that you can access lot/parcel owner information as shown on their tax map(s). Complete the attached 300 Foot Table form with the surrounding property owner information obtained from OCPA. Include: NAME, ADDRESS, SUBDIVISION, LOT, AND TRACT/BLOCK (or parcel). NOTE: For the purpose of this requirement, "surrounding property owners" means all owners within 300 feet of the subject property lines of the land for which a proposed change is being sought; an further, owners land which lies outside the City limits only if those lands abut the applicant's parcel. ITEMS TO BRING TO THE PROPERTY APPARISER'S OFFICE 1. Legal description (boundary survey if available). 2. Property tax receipts. 3. Several copies of the 300 Foot Table (attached) Ruler - May assist in measuring the 300 foot area. 5. \$\$\$ - Applicable printing fees required by the tax office. **ORANGE COUNTY PROPERTY APPRAISER'S OFFICE LOCATION** 200 S. Orange Avenue (At the Corner of Church Street and Orange Avenue) SunTrust Building, 17th Floor Orlando, Florida 32801-3438 407-836-5044 (P) www.ocpafl.org **VERIFICATION OF NAMES AND ADDRESSES** The Applicant, or designated representative, shall be responsible for obtaining the correct names and addresses of all surrounding property owners and notifying them. The names and addresses shall be those appearing on the most current tax rolls of Orange County, Florida. Complete notification requirements shall be in accordance with the City's Land Development Code, Article XII, Section 12.04.04. Prior to notifying surrounding owners, please obtain a Public Hearing Schedule from the City's Community Development Department, which will provide further information and mailing instructions. IF YOU HAVE ANY QUESTIONS CONCERNING THESE INSTRUCTIONS, PLEASE CONTACT THE COMMUNITY

CONTACT PERSON: David B. Moon, Planning Manager

DEVELOPMENT DEPARTMENT AT 407-703-1739.

ATTACHMENT "A"

Applicant's Demonstration of a Hardship Variance Application

Pursuant to Section 10.02.02.B. of the Apopka Land Development Code, an applicant requesting a variance must address in writing the seven criteria listed below.

Required findings. The [Planning Commission] shall not vary the requirements of any provision of this code unless the board makes a positive finding, based on substantial competent evidence, on each of the following:

- 1. There are practical difficulties in carrying out the strict letter of the regulation [in] that the requested variance relates to a hardship due to characteristics of the land and not solely on the needs of the owner.
- 2. The variance request is not based exclusively upon a desire to reduce the cost of developing the site.
- 3. The proposed variance will not substantially increase congestion on surrounding public streets.
- 4. The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site.
- 5. The effect of the proposed variance is in harmony with the general intent of this code and the specific intent of the relevant subject area(s) of the code.
- 6. Special conditions and circumstances do not result from the actions of the applicant.
- 7. That the variance granted is the minimum variance which will make possible the reasonable use of the land, building or structure. The proposed variance will not create safety hazards and other detriments to the public.

Hidden Lake Reserve
Application for Variance
Parcel: 09-21-28-0000-00-006

Old Dixie 15, LLC 501 Old Dixie Highway Apopka, Florida 32712

Type of Variance Request

This is a request for:

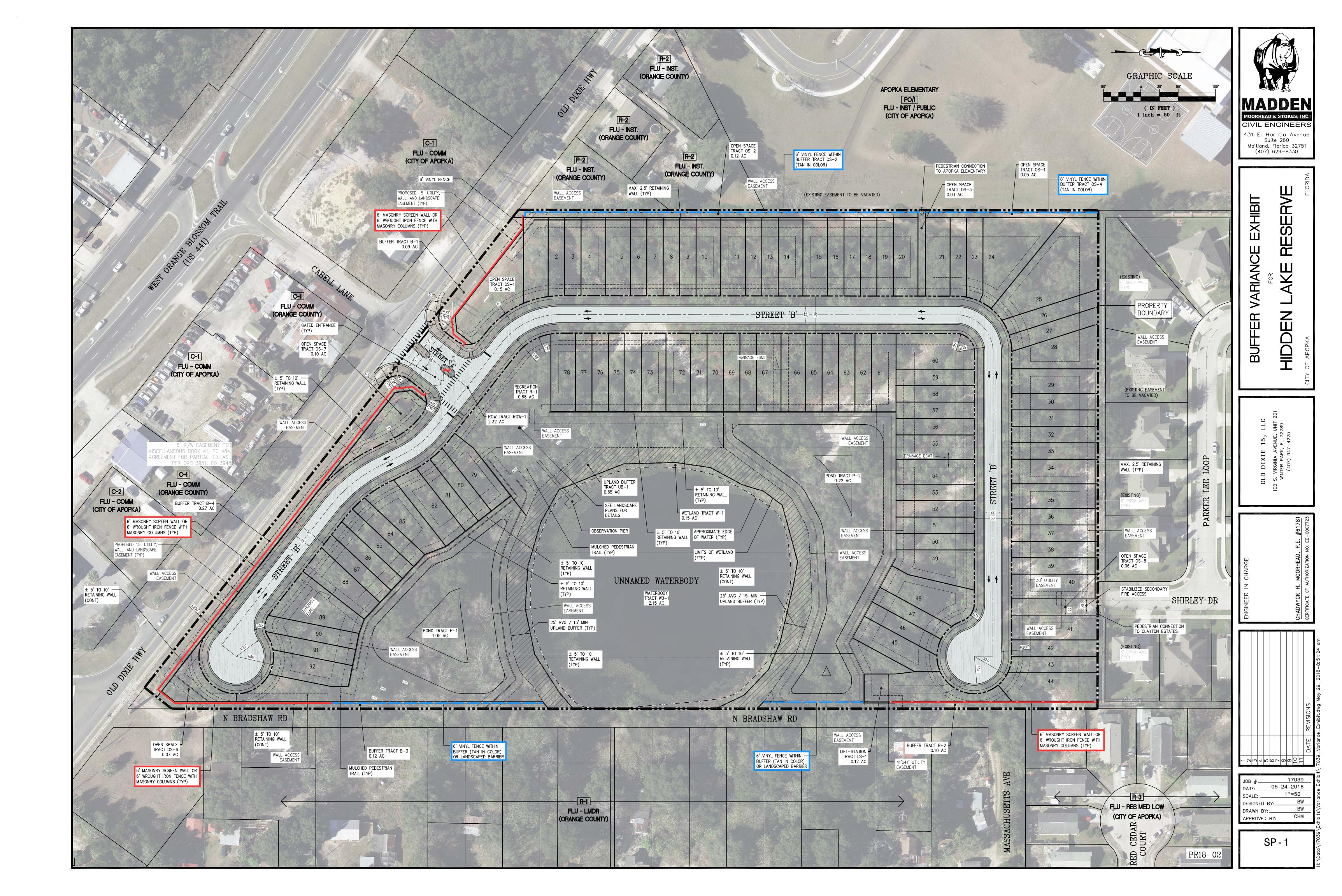
To provide a 6' high masonry wall or 6' high aluminum fence with columns for 50% of the proposed wall length and the use of a 6' high vinyl fence or a landscape barrier as a screening method in areas with excessive sloping conditions for a substitute to the required six-foot-high brick, stone or decorative block finished wall adjacent to the North Bradshaw Road or eastern property line.

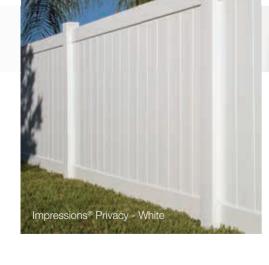
As set forth in the Land Development Code Section:

<u>2.021.07 (H)(1a)</u>, Residential Multi-Family District (R-3) buffer requirements. Multi-family developments shall provide a six-foot-high brick, stone or decorative block finished wall adjacent to all external roadways, erected inside a minimum ten-foot landscaped bufferyard.

Hardship Determination:

- 1. The Hidden Lake Reserve eastern property line abuts the existing 25' wide North Bradshaw Road right-of-way. Currently, North Bradshaw Road is an unimproved right-of-way and it does not appear that it will ever be improved due to an existing waterbody dividing the right-of-way. In addition, the Hidden Lake Reserve natural topography has excessive slopes to the unnamed waterbody. This sloping condition is most prominent along the eastern property line (North Bradshaw Road).
- 2. The Hidden Lake Reserve grading must address excessive sloping while meeting existing grades along the eastern property line. This sloping condition provides challenges in the constructability of a brick, stone or decorative block wall to screen an unimproved right-of-way, while dealing with an existing waterbody.
- 3. The Hidden Lake Reserve eastern bufferyard proposes a screening option and will not increase congestion on any surrounding public streets. Additionally, there is no increase in the proposed PDP application units or traffic distribution to the unimproved North Bradshaw Road.
- 4. The proposed Hidden Lake Reserve eastern bufferyard will not diminish property values, nor alter the essential character of the area surrounding the site. The subject property will provide the code required bufferyard width along the eastern property line.
- 5. The proposed Hidden Lake Reserve eastern bufferyard is in harmony with the intent of this code. The subject property will provide a 10' wide landscaped bufferyard with optional forms of screening methods, which is the intent of the minimum 10' wide bufferyard with six-foot-high brick, stone or decorative block finished wall.
- 6. The proposed Hidden Lake Reserve eastern bufferyard will not create a special condition or circumstance. The subject property will provide a 10' wide landscaped bufferyard with optional forms of screening methods.
- 7. The proposed Hidden Lake Reserve eastern bufferyard will provide a 10' wide landscaped bufferyard with a minimum 6' high vinyl fence or landscape barrier as a screening method on excessively sloped areas of the site. Utilizing the use of a fence or landscape barrier will allow a more constructible screening method on the excessive slopes, thus providing a minimum variance from the code. The subject property will provide the code required bufferyard width and will not create a safety hazard or detriment to the public.





Impressions®

The Impressions privacy panel features solid performance and lasting appeal.

Features:

- 134" x 51/2" smooth rail
- Tongue-and-groove boards
- 6' wide panels no aluminum insert needed
- 8' wide panels feature an aluminum insert in the bottom rail for added support





From: DiLuzio Boerger, Jamie E.
To: <u>Jean Sanchez; Goldberg Allan</u>

Cc: Singer Gary: Bobby Wanas; Daly Tom; James Hitt; David Moon; Bobby Howell; Edith Torres; Randall Fernandez;

Richard Earp

Subject: RE: VAR18-06 Hidden Lake/TGINF LLC

Date: Thursday, May 17, 2018 4:44:51 PM

Attachments: <u>image001.jpg</u>

Jean,

OCPS has reviewed all the information provided. It is our recommendation that given OCPS' history with the stability of PVC fencing during strong wind events, we would not support the request for a PVC fence adjacent to OCPS property.

Please add this to DRC comments.

Thank you,

Jamie

From: Jean Sanchez [mailto:JeSanchez@apopka.net]

Sent: Thursday, May 17, 2018 8:46 AM **To:** Goldberg Allan <goldgator@gmail.com>

Cc: Singer Gary <unibilt@mindspring.com>; Bobby Wanas <bobby@madden-eng.com>; Daly Tom <tdaly@dalydesign.com>; James Hitt <jhitt@apopka.net>; David Moon <dmoon@apopka.net>; Bobby Howell <HHowell@apopka.net>; Edith Torres <edithtorres@apopka.net>; DiLuzio Boerger, Jamie E. <Jamie.DiLuzioBoerger@ocps.net>; Randall Fernandez <rfernandez@apopka.net>; Richard Earp <REarp@apopka.net>

Subject: RE: VAR18-06 Hidden Lake/TGINF LLC

Good morning, Mr. Goldberg,

In reference to the (attached) responses/statement of the variance request proposing a 6-foot tall PVC fence in lieu of the required brick/masonry/pre-cast wall adjacent to N. Bradshaw Road, the Development Review Committee (DRC) is not in support of the proposed fencing due to safety/enforcement issues and potential future improvement of the platted right-of-way (ROW). The decision was based on current enforcement issues facing the City for subdivisions with vinyl fencing allowed on the perimeter of their subdivision, adjacent to the ROW, and fence panels are being forcibly removed allowing for trespassing or creating unapproved access. We received a response from Bobby Wanas to proceed with the variance application/public hearing. The other issues/concerns cited in the variance request is regarding the Code required buffer wall on the north that abuts Clayton Estates Subdivision. This was discussed at the February 7, 2018 DRC meeting for the first submittal of the PDP that this buffer wall is not required due to the existing masonry/brick/pre-cast wall for Clayton

Estates. Orange County Public Schools (OCPS) is in touch with their liaison to discuss the proposed buffer on the western perimeter of the project site, abutting Apopka Elementary. Once we receive a response from OCPS, we will let you know.

Since the PDP is scheduled to be in front of DRC next week, Wednesday, May 23 at 9:00 A,M., the variance may certainly be brought up as it pertains to the site design of this subdivision. With that said, Staff has not determined a tentative public hearing schedule for the PDP because the Community Development Department has not received all comments from DRC members. Comments are scheduled to be sent to the applicant on Monday, May 21 close of business. Based on those forthcoming comments and DRC discussion next week, Staff may determine a tentative hearing schedule after the DRC meeting.

Thank you,

Jean Sanchez

Planner II

Phone: 407.703.1753 jesanchez@apopka.net



From: Goldberg Allan [mailto:goldgator@gmail.com]

Sent: Wednesday, May 16, 2018 5:15 PM **To:** Jean Sanchez < <u>JeSanchez@apopka.net</u>>

Cc: Singer Gary <<u>unibilt@mindspring.com</u>>; Bobby Wanas <<u>bobby@madden-eng.com</u>>; Daly Tom <<u>tdaly@dalydesign.com</u>>; James Hitt <<u>jhitt@apopka.net</u>>; David Moon <<u>dmoon@apopka.net</u>>; Bobby Howell <<u>HHowell@apopka.net</u>>; Edith Torres <<u>edithtorres@apopka.net</u>>

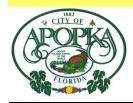
Subject: Re: VAR18-06 Hidden Lake/TGINF LLC

Importance: High

Jean, I was disappointed that we didn't receive notice of the DRC meeting this morning discussing our variance requests. I assumed incorrectly that the variance request would be heard at the same DRC meeting as the PDP next week. Could you please specifically let me know if all portions of the variance requests will not be supported with an explanation for each?

Could you also verify that our PDP is going to the June 12 Planning Commission meeting also?

Allan Goldberg 407-947-4225 goldgator@gmail.com



CITY OF APOPKA PLANNING COMMISSION

X PUBLIC HEARING

SITE PLAN

SPECIAL REPORTS

X OTHER: Final Development Plan

MEETING OF: June 12, 2018

FROM: Community Development

EXHIBITS: Vicinity Map

Aerial Map Zoning Map PDP Site Plan Landscape Plan

OCPS DRC Comments

SUBJECT: PRELIMINARY DEVELOPMENT PLAN - HIDDEN LAKE

RESERVE SUBDIVISION

REQUEST: RECOMMEND APPROVAL OF THE PRELIMINARY

DEVELOPMENT PLAN FOR THE HIDDEN LAKE RESERVE

SUBDIVISION

SUMMARY

OWNER: TGINF, LLC c/o Alan Goldberg

APPLICANT/ENGINEER: Madden, Moorhead and Stokes, Inc., c/o Chad Moorhead, P.E.,

LOCATION: 501 Old Dixie Highway

PARCEL ID NUMBER: 09-21-28-0000-00-006

FUTURE LAND USE: Medium Low Density Residential (0 - 7.5 du/ac)

ZONING: R-3 (Residential Multiple Family)

EXISTING USE: Vacant

PROPOSED USE: 92 Townhome Units within 18 buildings; comprised of 8 buildings

with 4 units and 10 buildings with 6 units. Minimum Lot Size: 1 acre; Minimum Living Area: 1,350 square feet; Building Height: upt to

35 feet.

TRACT SIZE: 13.57 +/- acres (developable area); 15.88 +/- acres total

DENSITY: 6.78 du/ac (proposed)

DISTRIBUTION

Mayor Nelson Finance Director Public Services Director

Commissioners HR Director Recreation Director

City Administrator IT Director City Clerk
Community Development Director Police Chief Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

Direction	Future Land Use	Zoning	Present Use
North (City)	Residential Low	R-2	Clayton Estates Residential Subdivision
East (County)	Office	R-1	New England Heights Subdivision
South (City and County)	Commercial	C-1 and C-2	Car sales, automobile service station and other commercial retail uses.
West (City and County)	Institution and Medium Density Residential	PO/I and R-2	Apopka Elementary School and Single Family Residential

<u>ADDITIONAL COMMENTS</u>: The Hidden Lake Reserve Subdivision Preliminary Development Plan proposes a gated, townhome community with a maximum of 92 townhome units, private streets, and a community pool and cabana. The minimum typical lot for a townhome building is one acres with a required minimum living area of 1,350 square feet for each residential units as set forth in Chapter 2 of the Land Development Code.

Setbacks: The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front	25'*
Side	0, 10'**
Rear	20'***
Corner	25'

*Front-entry garage must be setback 30 feet and 50 feet from to front between buildings

**20 feet distance requirement between structures.

***50 feet from rear to rear between buildings.

<u>Access</u>: Ingress/egress access point for the development will occur via full access onto Old Dixie Highway. In addition, an emergency road and gate connects the internal street with Shirley Drive within Clayton Estates. The emergency road will provide additional access points for emergency vehicles for both Clayton Estates and for Hidden Lake Reserve. A cross access easement is placed across the internal streets within Hidden Lake Reserve to allow students from Apopka Elementary School to walk from Clayton Estates to the school without having to use Vick Road. Further, the children and families within Clayton Estates and Hidden Reserve can walk a short distance to visit friends in the abutting community. Otherwise, the walk between the communities is a much as 1.3 miles via Old Dixie Highway and Vick Roads i stead of a few hundred feet in some cases.

Stormwater: The retention ponds, located on the north and south of existing water body or conservation area of the site, have been designed to meet the City's Land Development Code requirements.

Bufferyard: Along Old Dixie Highway -- A 6-feet tall masonry and or 6-feet tall wrought iron fence with masonry columns within a 10-foot wide buffer tract is proposed by the applicant along Old Dixie Highway. Along Old Dixie Highway the Code requires a six foot-brick wall but the City may accept up to 50% of the wall to comprise wrought-iron style fence with columns. As the applicant has not identified where the 50% wrought-iron type fence will be place, planning staff does not support the wrought-iron-style fence.

PLANNING COMMISSION – JUNE 12, 2018 HIDDEN LAKE RESERVE SUBDIVISION – PRELIMINARY DEVELOPMENT PLAN PAGE 3

Northern Perimeter next to Clayton Estates -- A 6-feet high brick wall exists on the north perimeter within a 10-foot wide buffer tract within the Clayton Estates Residential Subdivision, which is owned and maintained by Clayton Estates.

Eastern Project Line -- The City Code requires a ten-foot buffer and a six-foot high wall along Bradshaw Road. The applicant has applied for a variance to allow a six foot vinyl fence along the eastern property line in lieu of a brick wall within the 10 foot landscape buffer. The buffer and wall type shall be presented and determined through the variance application process.

Western Project Line -- Also proposed is a 6-foot tall vinyl fence within a ten-foot wide buffer tract abutting the single-family homes at the southwestern corner of the project and along Apopka Elementary School. The Code requires a brick wall within a 10-foot landscape buffer adjacent to single-family residential. The Code does not require residential development to provide a buffer wall between the proposed residential homes and the school property. A gate for cross access during school hours/sessions will also be provided between the school and Hidden Lake Reserve. OCPS supports the gate and pedestrian cross access easement within Hidden Lake. Both OCPS planning staff and City planning staff have asked the applicant to provide a brick wall in lieu of a vinyl fence next to the school for safety and appearance purpose, but the applicant states the he will only provide a vinyl fence. The Code does not require residential development to provide a buffer wall between residential homes and the public school.

Parking: A minimum of two spaces within the lot is required for each townhome unit. Applicant does not propose any requirement to have one- or two- car enclosed garages. All parking, then, can occur within the driveway. The garage is setback 30 feet from the front property line. No over-flow parking is provided and no parking is provided at the pool facility. Guests and cars not parked in the driveway will park in the street.

CONDITIONS OF APPROVAL:

- 1. Wall within Old Dixie Highway bufferyard shall be a six-foot high brick or masonry wall. Not wrought-iron fence will be allowed unless approved by the City at the Final Development Plan, and no more than 50% of the wall length along Old Dixie Highway shall be wrought-iron.
- 2. A six-foot high brick wall shall be placed within a 10-foot wide bufferyard adjacent to the single-family homes at the southeastern corner of the project.

SCHOOL CAPACITY REPORT: This development has an executed and recorded Capacity Enhancement Agreement with Orange County Public Schools (OCPS). School concurrency shall be required at Final Development Plan approval and no development activity can occur until such time that a concurrency mitigation agreement has been approved by OCPS.

PUBLIC HEARING SCHEDULE:

June 12, 2018 - Planning Commission, 5:30 p.m. July 18, 2018 - City Council, 7:00 p.m.

RECOMMENDATION ACTION:

The **Development Review Committee (DRC)** recommends approval of the Hidden Lake Reserve Subdivision Preliminary Development Plan/Plat subject to the findings of this staff report and the buffer/wall variance public hearing for VAR18-06 TGINF.

Planning Commission: Find the Hidden Lake Reserve Subdivision Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Hidden Lake Reserve Subdivision Preliminary Development Plan subject to the Conditions of Approval, findings of this staff report, and findings of the buffer/wall variance public hearing for VAR18-06 TGINF for the property owned by TGINF, LLC and located at 501 Old Dixie Highway.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

PLANNING COMMISSION – JUNE 12, 2018 HIDDEN LAKE RESERVE SUBDIVISION – PRELIMINARY DEVELOPMENT PLAN PAGE 5

Owner: TGINF, LLC c/o Alan Goldberg

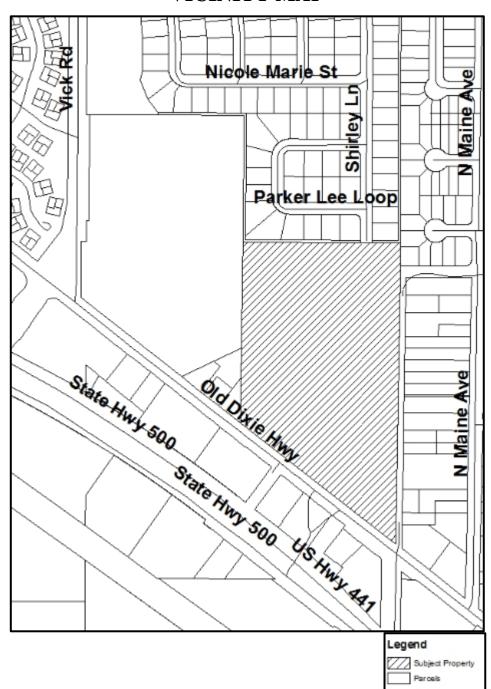
Applicant: Alan Goldberg

Parcel I.D. No: 09-21-28-0000-00-006 Location: 501 Old Dixie Highway

Total Acres: 15.88 +/- Acres



VICINITY MAP



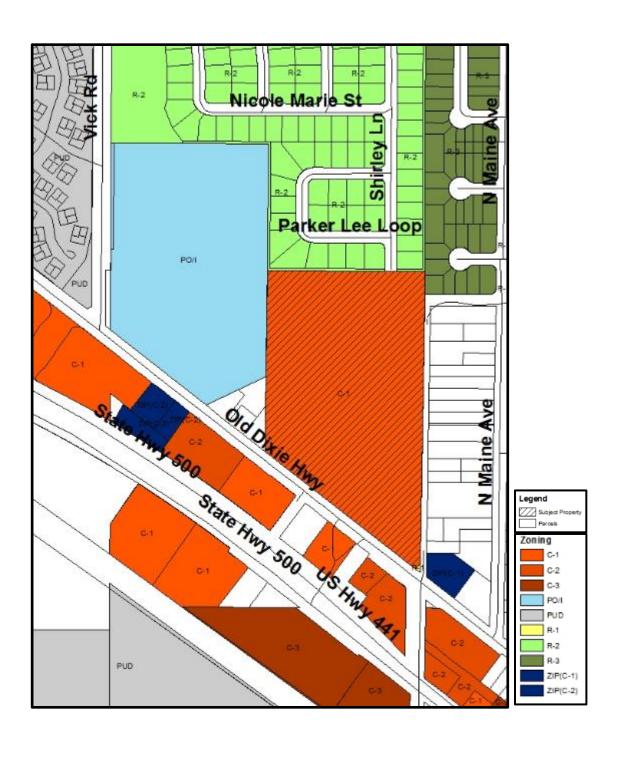


AERIAL MAP





ZONING MAP



PRELIMINARY DEVELOPMENT PLAN FOR HIDDEN LAKE RESERVE

PARCELS: 09-21-28-0000-00-006 SECTION 9, TOWNSHIP 21 SOUTH, RANGE 28 EAST **501 OLD DIXIE HIGHWAY** CITY OF APOPKA, FLORIDA FOR

OLD DIXIE 15, LLC

100 S. VIRGINIA AVENUE, UNIT 201 WINTER PARK, FLORIDA 32789 PHONE: (407) 947-4225

CONTAINING 15.876 ACRES MORE OR LESS (AS CALCULATED PER SURVEYOR'S BOUNDARY).

VARIANCE OR	WAIVER REQUEST			
CODE SECTION	CODE REQUIREMENT	VARIANCE OR WAIVER	REQUEST	JUSTIFICATION
2 021 07 04V(s)	Muti-family developments shall provide a six-foothigh brick, stone or decorative block finished well adjacent to all external readmays, exected inside a minimum en foot landscaped bufferyard	Variance	rence with columns for 50% of the proposed wall length	The eastern property line abuts the cristing 25' wide horth Bradshaw Road right of Jewy, North Bradshaw Road is an undrepresed right of-way and it doe not appear that it will leve be Improved due to an oil sing wastaboly dividing the right of-way, In add ition, the Hidden Lake Reserv natural biopagy ply his creative slopes to the unnamed wastaboly. This sloping condition is most prominent along the assist na property line (bottli file dals w Road).

INDEX OF SHEETS

COV-1	COVER SHEET	
1	BOUNDARY SURVEY	
SYM-1	SYMBOLS AND ABBREVIATIONS	
EC-1	EXISTING CONDITIONS PLAN	
SP-1	SUBDIVISION PLAN	
DS-1	SITE DATA AND TYPICAL SECTIONS	
DP-2	MASTER DRAINAGE PLAN	
UP-1	MASTER UTILITY PLAN	
AM-1	AMENITY PLAN	
FA-1	FIRE ACCESS PLAN	
TP-101 ▲	TREE LOCATION PLAN	
L-201 AND L-202	LANDSCAPE PLAN	



431 E. HORATIO AVENUE, SUITE 260 MAITLAND, FLORIDA 32751 PHONE (407) 629-8330 FAX (407) 629-8336

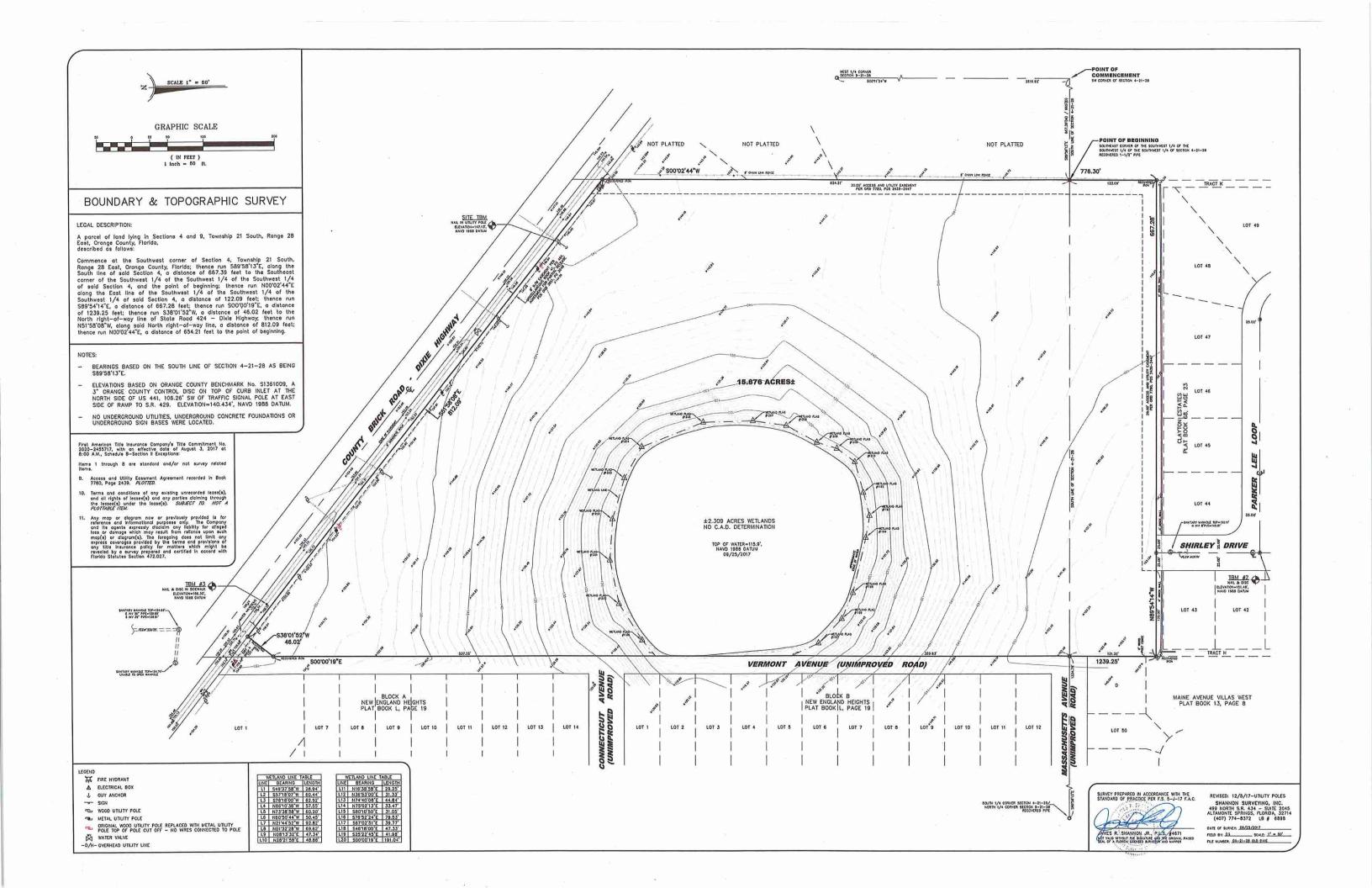
GEOTECHNICAL

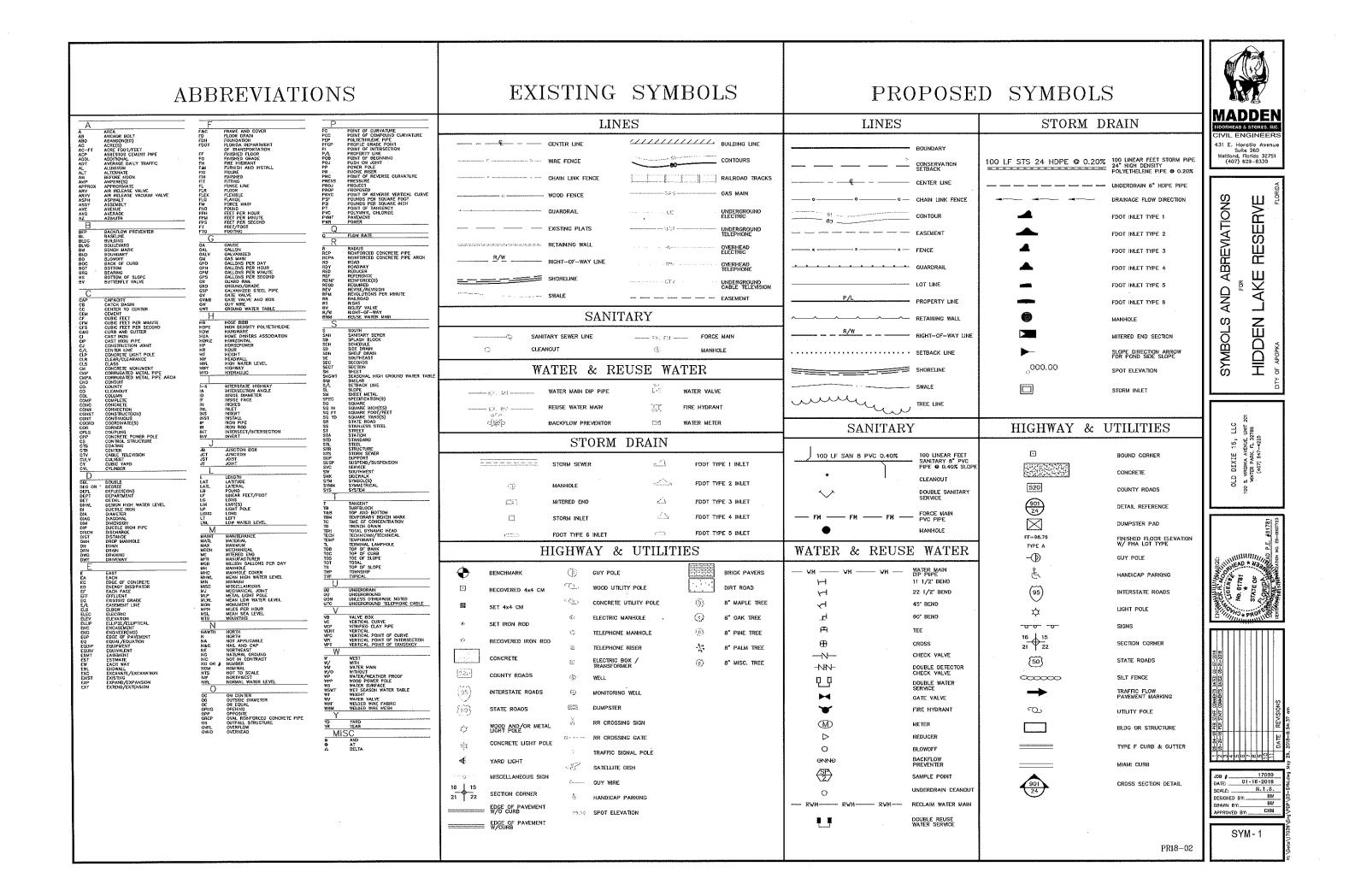
RECLAIMED WATER:

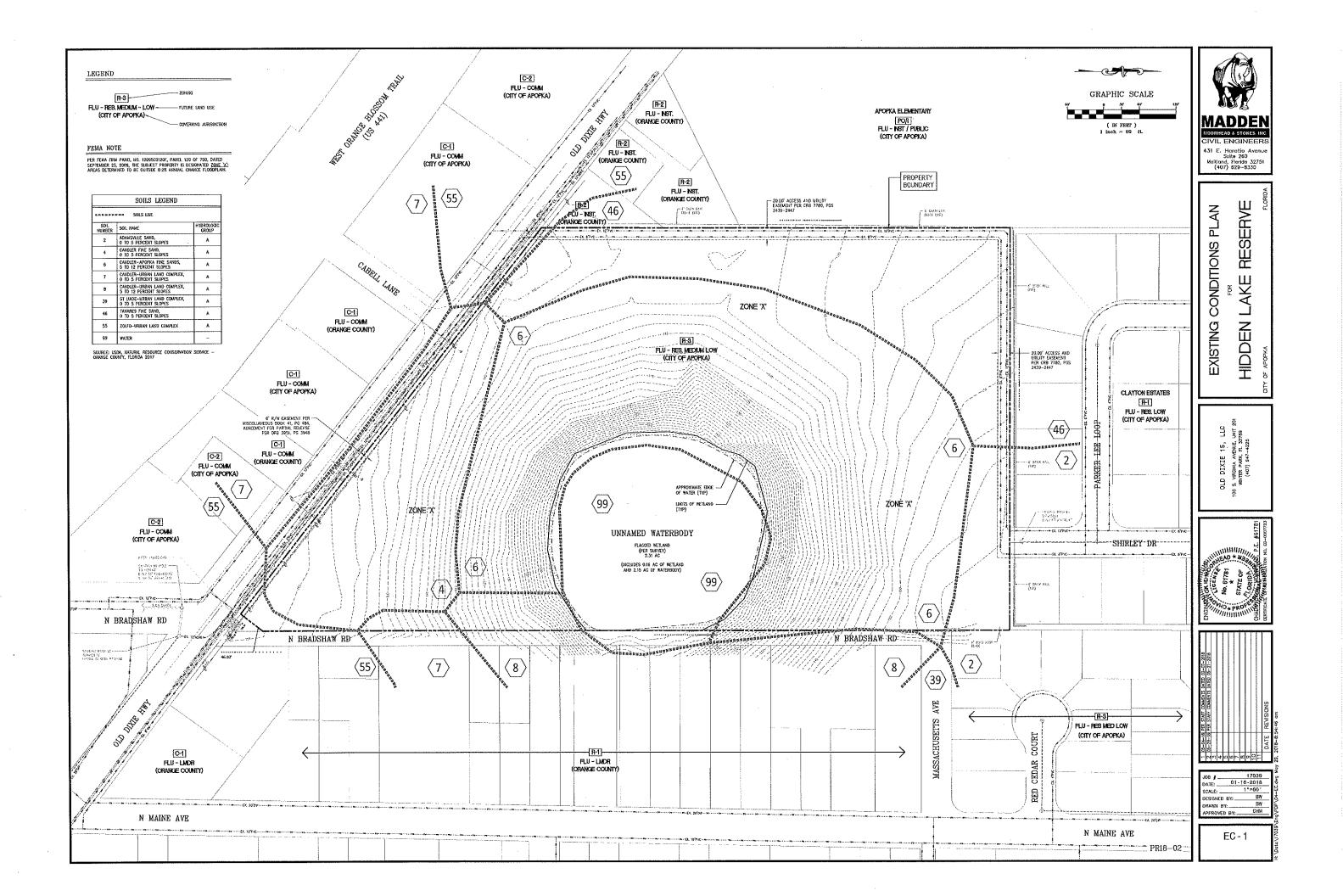
A LETTER SHALL BE OBTAINED FROM THE FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION (FFWCC) RECARDING WILDLIFE MANAGEMENT PLAN, PRIOR TO ANY CONSTRUCTION ACTIVITIES OCCURRING ON SITE.

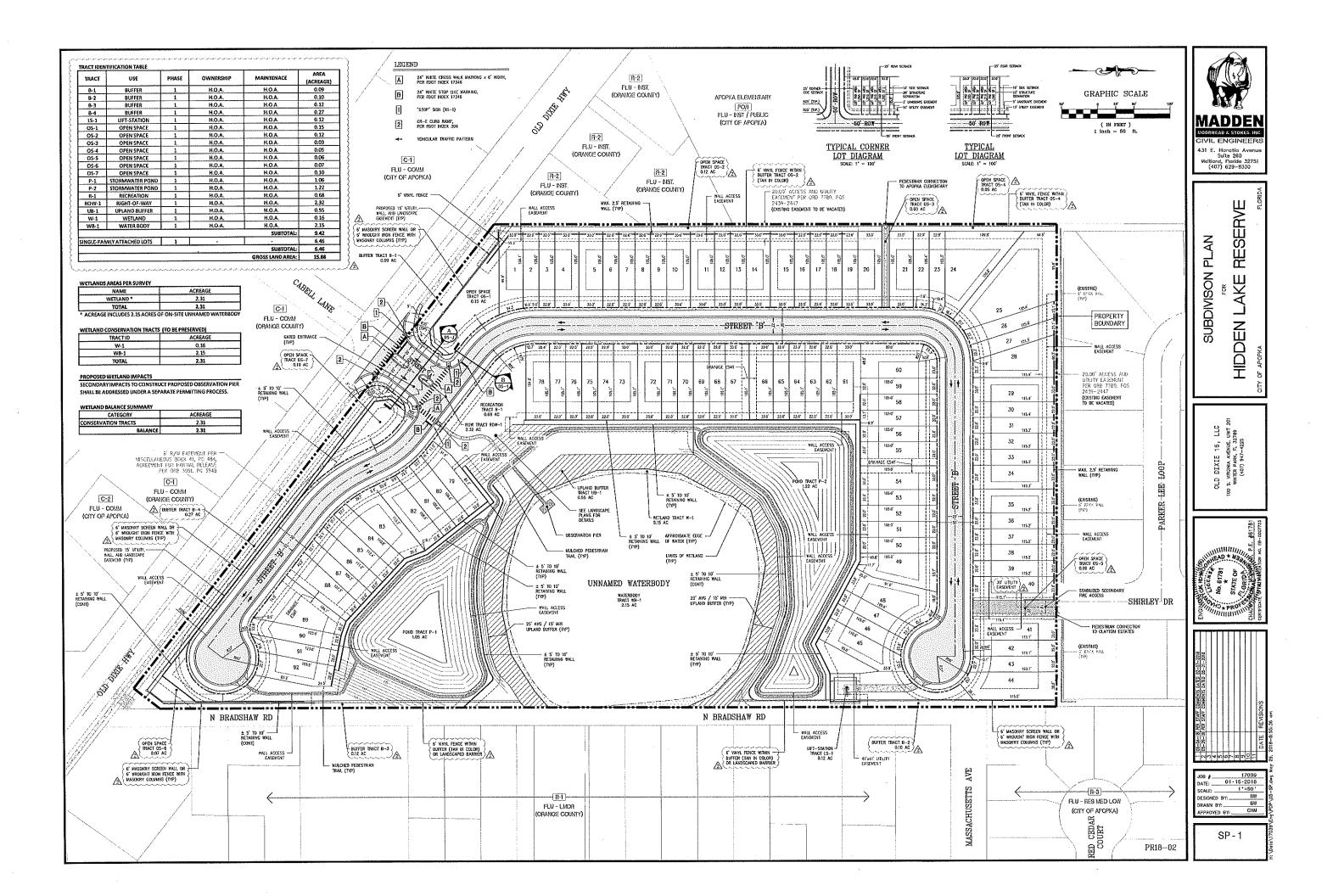
VICINITY MAP

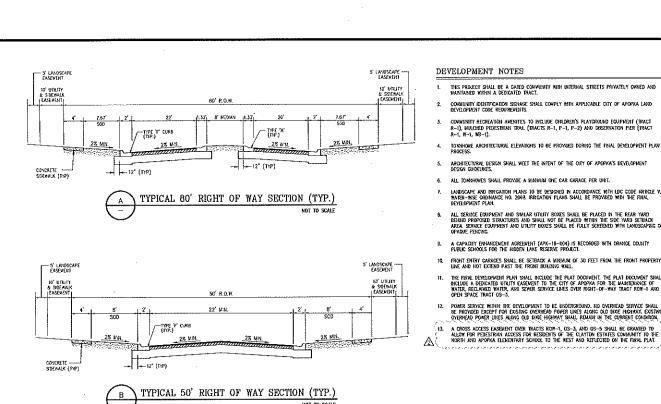












BUFFER TRACT 8-6

···· Existing 6' R/N Easewert

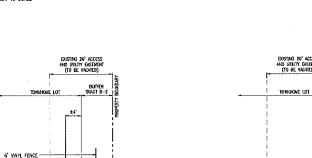
EXISTING GRADE

15" UTILITY, WALL, ...

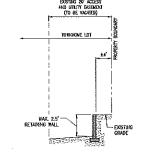
SON TRACT ROW-1

TYPICAL GRADING SECTION

NOT TO SCALE



TYPICAL GRADING SECTION





THIS PROJECT SHALL BE A CAYED COMMUNITY WITH INTERNAL STREETS PRIVATELY OWNED AND MAINTAINED WITHEN A DEDICATED TRACT.

COMMUNITY IDENTIFICATION SIGNAGE SHALL COMPLY WITH APPLICABLE CITY OF APOPKA LAND DEVELOPMENT CODE REQUIREMENTS. COMMUNITY RECREATION AMENTES TO INCLUDE CHARGET'S PLAYGROUND EOUPMENT (BRACT R-1), MACHED PRIESTRUM BRAL (BRACTS R-1, P-1, P-2) AND OBSERVATION PIER (BRACT R-1, W-1, WB-1).

TOWNHOME ARCHITECTURAL ELEVATIONS TO BE PROVIDED DURING THE FINAL DEVELOPMENT PLAN

ALL SERVICE FOLIPHINIT AND SMAAR UITHITY BOXES SHALL BE PLACED IN THE REAR YARD EDHILD PROPOSED STRUCTURES AND SHALL NOT BE PLACED MITTER THE SIXE YARD STRUCK AREA STRIKE EXPERIENT AND UTILITY BOXES SHALL BE TULLY SCREEMED WITH LANDSCAPING OR OWNER. FERNICH.

POWER SERVICE MITHIN THE DEVELOPMENT TO BE UNDERGROUND, NO OVERHEAD SERVICE SHALL BE PROVIDED EXCEPT FOR EXISTING OVERHEAD FOWER UNITS ALCING DUD DIDGE HIGHRAY, EXISTING OVERHEAD POWER UNITS ALCING OUD DIDGE HIGHRAY SHALL REMAYS IN THE CURRENT CONDIDUAL.

A CROSS ACCESS EASEMENT OVER TRACTS ROW—1, OS—3, AND OS—5 SMALL BE GRAVIED TO ALLOW FOR PEDESTRIAN ACCESS FOR RESIDENTS OF THE CLAYTON ESTATES COMMONTY TO THE NORTH AND APOPKA ELEMENTARY SCHOOL TO THE WEST AND REFLECTED ON THE FINAL PLAT.

FUTURE LAND USE	RESIDENTIAL MEDIUM LOW
ZONING	RESIDENTIAL MULTIPLE-FAMILY DISTRICT (R-3)
GROSS LAND AREA	15.88 ACRES
GROSS PHASE AREA	15,88 ACRES
WETLANDS TO BE PRESERVED	2.31 ACRES
NET DEVELOPABLE AREA	13.57 ACRES
PROPOSED UNITS FOR THIS PSP	92 UNITS
RESIDENTIAL DENSITY (ALLOWE	D) UP TO 7.5 DU/AC
GROSS RESIDENTIAL DENSITY	5.79 DU/AC
NET RESIDENTIAL DENSITY	6.78 DU/AC

RESIDENTIAL DEVELOPMENT STANDAROS

GROSS PHASE AREA	15.88 ACRES
WETLANDS TO BE PRESERVED	2.31 ACRES
DEVELOPABLE AREA	13.57 ACRES
NUMBER OF UNITS	92
RESIDENTIAL DENSITY (ALLOWED)	UP TO 7.5 DU/AC
NET RESIDENTIAL DENSITY (PROPOSED)	6.78 DU/AC
MIN, SITE AREA (1)	LOO ACRES
MIN. SITE AREA (PROPOSED)	15.88 ACRES
MIK. LOT WADTH (1)	NONE
MIN. LOT WIDTH (PROPOSED PER LOT)	27
MIN. LOT GEPTH (PROPOSED PER LOT)	ios'
MIN. BUILDING SEPARATION (2)(3)	20"
MIN. LIVING AREA [1]	1,350 SF
MAX BUILDING HEIGHT (1)	35
SETBACKS (feet) (3)(5)	
FROMPROPERTY BOUNDARY	25
FROM NATURAL SURFACE WATERBODY	
OR WETLAND EDGE	507
FRONT PRIMARY (4)	25'
REAR PRIMARY (4)	25'
SIDE (2)	O', 1O' END UNIT
CORNER SIDE	25'
ACCESSORY STRUCTURES	SEE NOTE (5) BELOW

(1) PER LAND DEVELOPMENT CODE, ARTICLE II, SECTION 2.02.07 (2) 20 BETWEEN STRUCTURES.

(3) PER LAND DEVELOPMENT CODE, ARTICLE II, SECTION 2-02-07 (G)(3)

(4) DISTANCE BETWEEN BUILDINGS: SO FRONT TO FRONT AND SO REAR TO REAR.

15) ACCESSORY STRUCTURE SETBACKS SHALL COMPLY WITH LAND DEVELOPMENT.

OPEN SPACE CALCULATIONS (1)

	RED = 30% OF GROSS LAND AREA	***************************************
GROSS LAND AREA:	x 30% = REQUIRED OPEN SPACE =	4.76
····	TOTAL OPEN SPACE REQUIRED:	4.76

HASE	1	PLACTS	AREA PROVIDED
		D STORMWATER PONDS REQ. OPEN SPACE)	1.19
	051	OPENSPACE	0.000
(OS-2	OPEN SPACE	0.12
9	OS-3	OPEN SPACE	0.03
	O5-4	OPEN SPACE	0.05
1	05-5	OPEN SPACE	0.06
	05-6	OPEN SPACE	0.07
(OS-7	OPEN SPACE	0.10
	R-I	RECREATION	0.68
	US-1	UPLAND BUFFER	0.55
	W-1	WETLAND	0.16

RIGHT-OF-WAY TRACT WITH OVERLAYING UTILITY EASEMENT	PUBLIC / PRIVATE	TO BE GWIELD AND AMINTAINED BY HOMEOWNERS ASSOCIATION, UTILITIES WITHER THE TRACT TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION WITH A DEOCATION UTILITY EASEMENT TO THE CITY OF APOPKA FOR MAINTAINAINCE PURPOSES.
POND TRACTS	PRIVATE	TO BE DWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION
DRAINAGE EASEMENTS	PRIVATE	TO BE CHANGE AND MAINTAINED BY HOMEOWNERS ASSOCIATION
WALL ACCESS EASEMENTS	PRIVATE	TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION
PEDESTRIAN CROSS ACCESS EASEMENT	PRIVATE	TO BE COVINED AND MAINTAINED BY HOMEOWHERS ASSOCIATION
PRIVATE LOTS AND TRACTS WITH OVERLAYING UNLITY EASEMENTS	PUBLIC / PRIVATE	TO BE OWNED AND MAINTAINED BY PRIVATE OWNER OR HOMEOWHERS ASSOCIATION. UILUTES WITHIN THE LOT OR TRACT TO BE OWNED AND MAINTAINED BY THE CITY OF APOPKA WITH A DESTANDIAL UILUTY EASEMENT TO THE CITY OF APOPKA FOR MAINTAIN
UTILITY EASEMENTS ADJACENT TO RIGHT-OF-WAY TRACT	PUBLIC / PRIVATE	TO BE DEDICATED TO THE CITY OF APOPKA, HOA AND/OR OTHER PRIVATE UTILITY COMPANIES. UTILITIES WITHIN THE EASEMENTS MAY BE OWNED AND MAINTAINED BY THE CITY OF APOPKA AND/OR OTHER PRIVATE ENTITIES.
WATER AND RECLAIMED WATER	PUBLIC	TO BE OWNED AND MAINTAINED BY CITY OF APOPKA
~~~~~~~~~	~~~~~	·····
SANITARY SEWER AND FORCEMAIN	PUBLIC	TO BE GWNED AND MAINTAINED BY CITY OF APOPKA
BUFFER TRACTS	PRIVATE	TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION
UFT STATION TRACT	PUBLIC	TO BE OWNED AND MAINTAINED BY CITY OF APOPKA
RECREATION TRACTS	PRIVATE	TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION

UTILITY PROVIDERS
POTABLE WATER SERVICE
RECLAIMED WATER SERVICE
ELECTRIC SERVICE CITY OF APOPKA LIBUTIES CITY OF APOPKA LIBUTIES CITY OF APOPKA LIBUTIES OUKE ENERGY CITY OF APOPKA SOUD WASTE

CABLE SPECTRUM LAXE APOPKA NATURAL GAS NATURAL GAS CITY OF APOPKA

### PARKING CALCULATIONS

SIDEWALKS IN RIGHT-OF-WAY

WETLAND AND UPLAND BUFFER AREAS

	REQU			PROVIDED PA	ARKING	
PHASE	USE	NUMBER OF UNITS	SPACES REQUIRED PER UNIT	TOTAL REQUIRED	5PACES PROVIDED PER UNIT	TOTAL PROVIDED
1	SINGLE-FAMILY, ATTACHED [TOWNHOMES]	92	2	184	2	184
PARKING TO	OTALS:	92	2	184	2	184

1. PARKING REQUIRED AT 2 SPACES PER UNIT PER LDC SECTION 2.02.07 (1)(1). 2. ALL TOWNHOMES HAVE A MIN. 1 CAR GARAGE AND MIN. DRIVEWAY LENGTH OF 25 FT TO PROVIDE 2 SPACES PER UNIT.

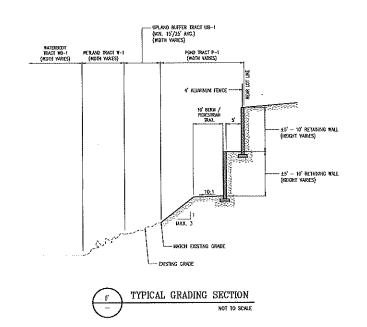
### RECREATION AREA CALCULATIONS (5,83)

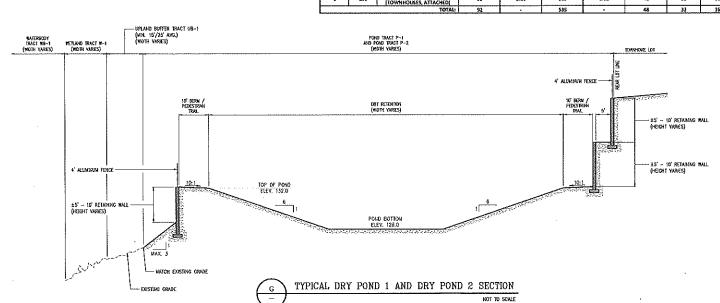
PHASE 1	92 UNITS =	5,775 SF a	0.13
		TOTAL RECREATION REQUIRED:	0.13
		TOTAL RECREATION REQUIRED:	0.13

(1) ALL UNITS ARE ACRES.

(2) PER LAND DEVELOPMENT CODE, ARTICLE II, SECTION 2.02.01

TRAFFIC 6	ENERATION,	Based on ite trip generation 9 th	EDITION						
$\Box$			Humber of	DA	VLY		PM PEAK H	DUR	
Phase	IR ITE Code	Land Use	Dwelling Units	Weekday Trips Per Unit	Total Generated Daily Trips	PM Peak Hour Trips Per Unit	Total Generated PM Hour Trips	PM to	PM Out
1	230	SINGLE-FAMILY [TOWNHOUSES, ATTACHED]	92	5.81	535	0.52	48	32	16
$\overline{}$		TOTAL:	92		535	•	48	32	16







431 E. Horatia Avenue Sulte 250 Malliand, Florida 32751 (407) 629–8330

SECTIONS SERVE Ë TYPICAL Ä AND DATA

HDDEN

OLD DIXIE 15, LLC 100 S. VIRGINIA AVENUE, UNIT 20 WINTER PARK, E. 32789 (407) 947-4225

SITE

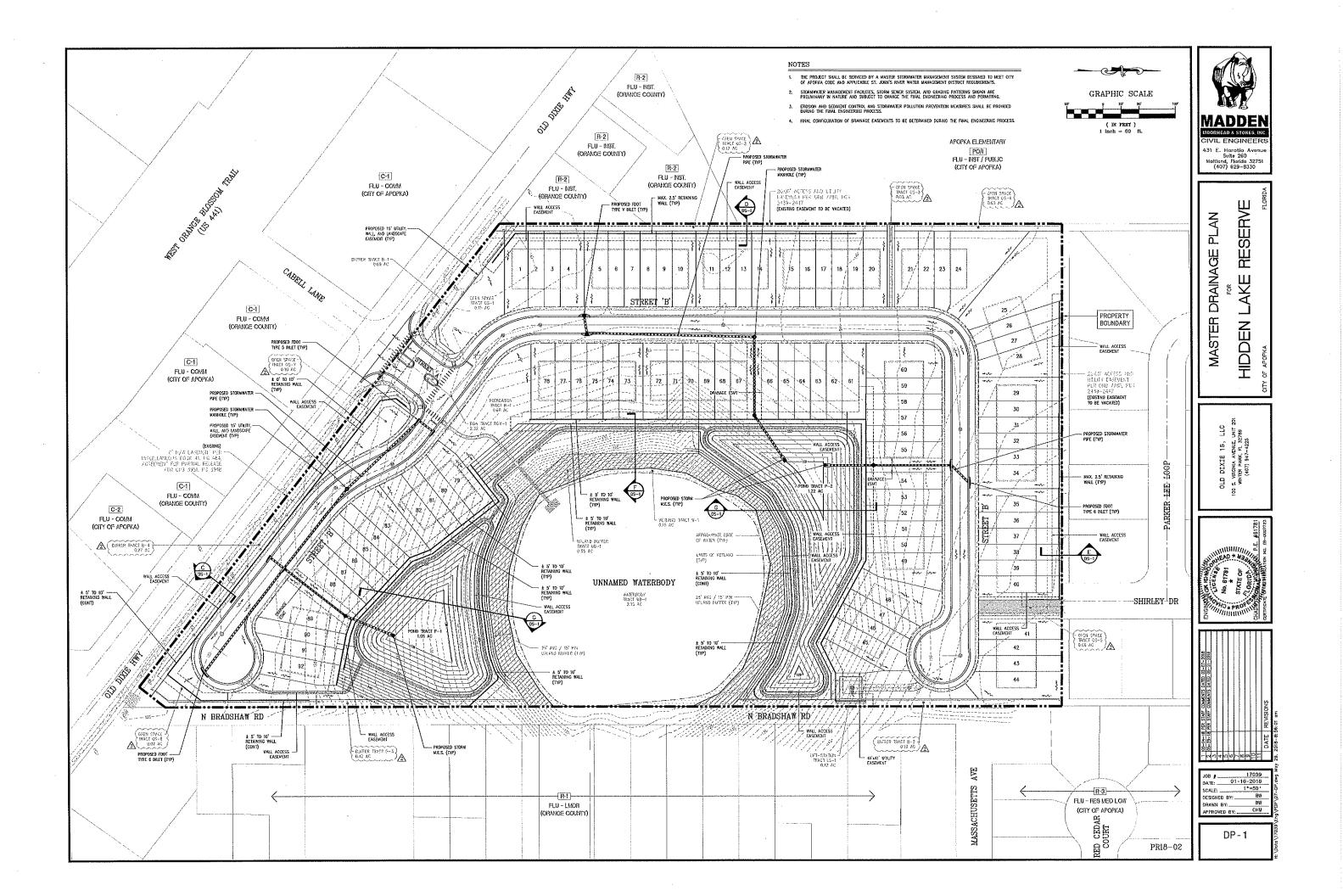


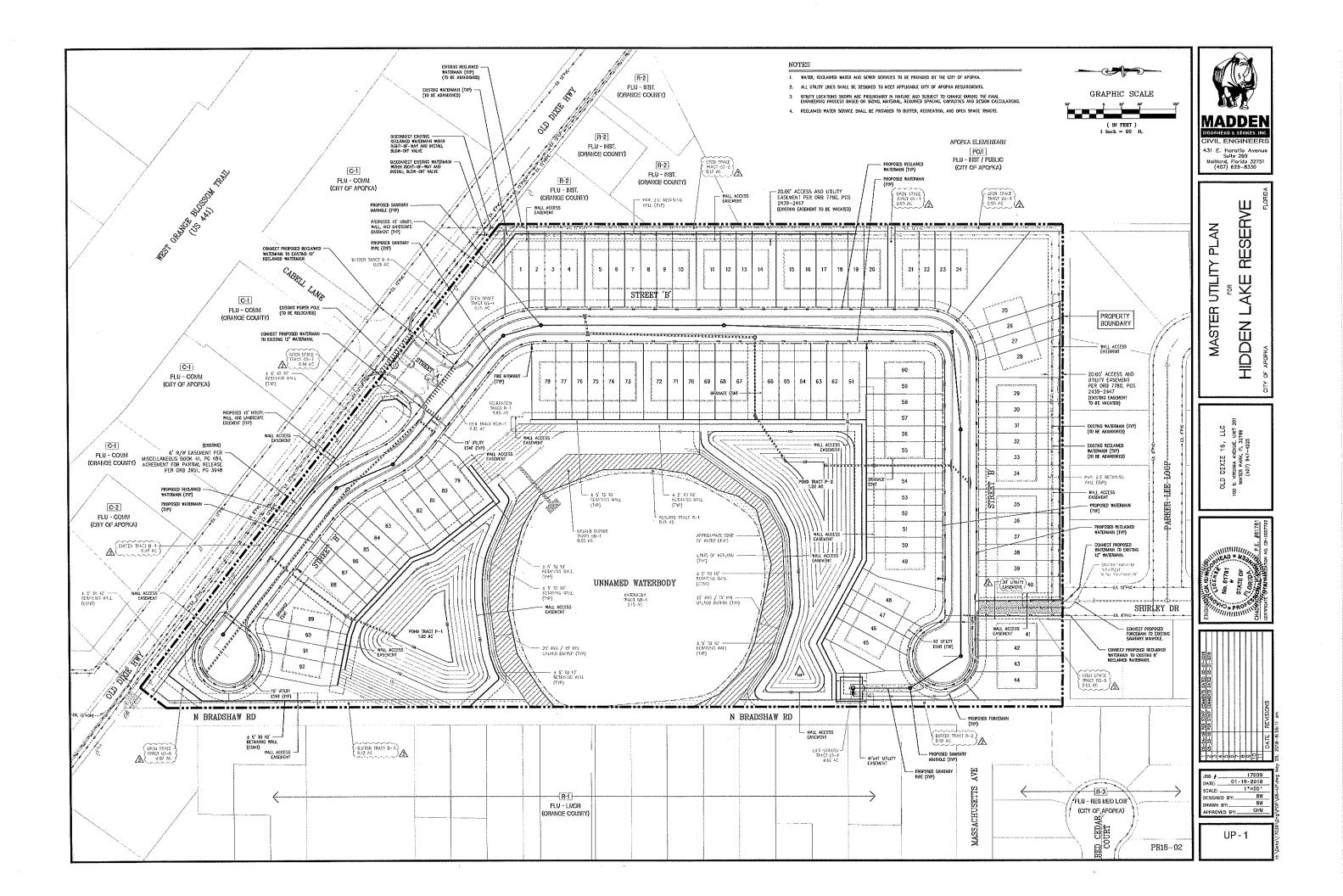


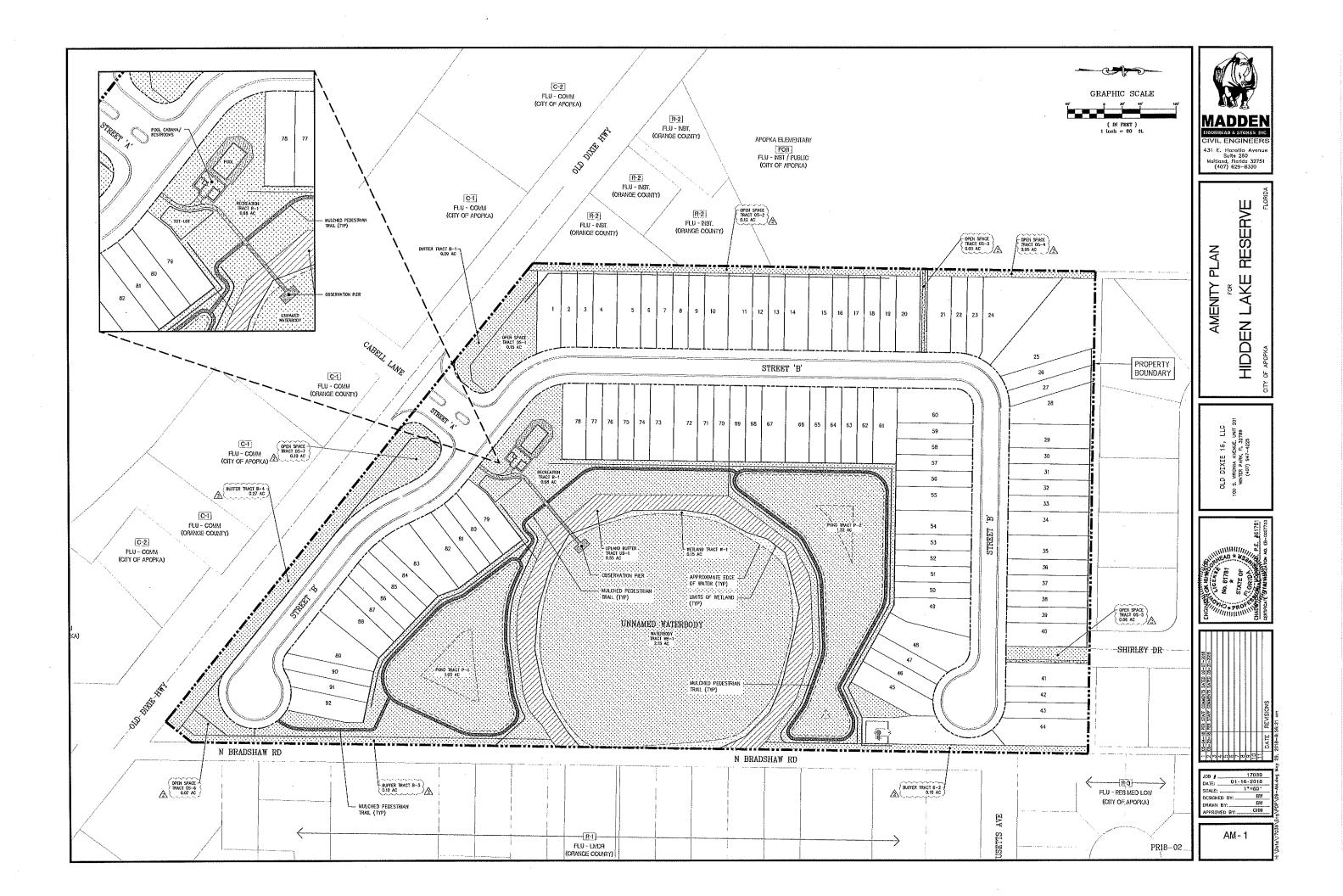
JOB # 17039 DATE: 01-16-2018 N.T.S. DESIGNED BY: BW
DRAWN BY: BW
APPROVED BY: CHM APPROVED BY: ...

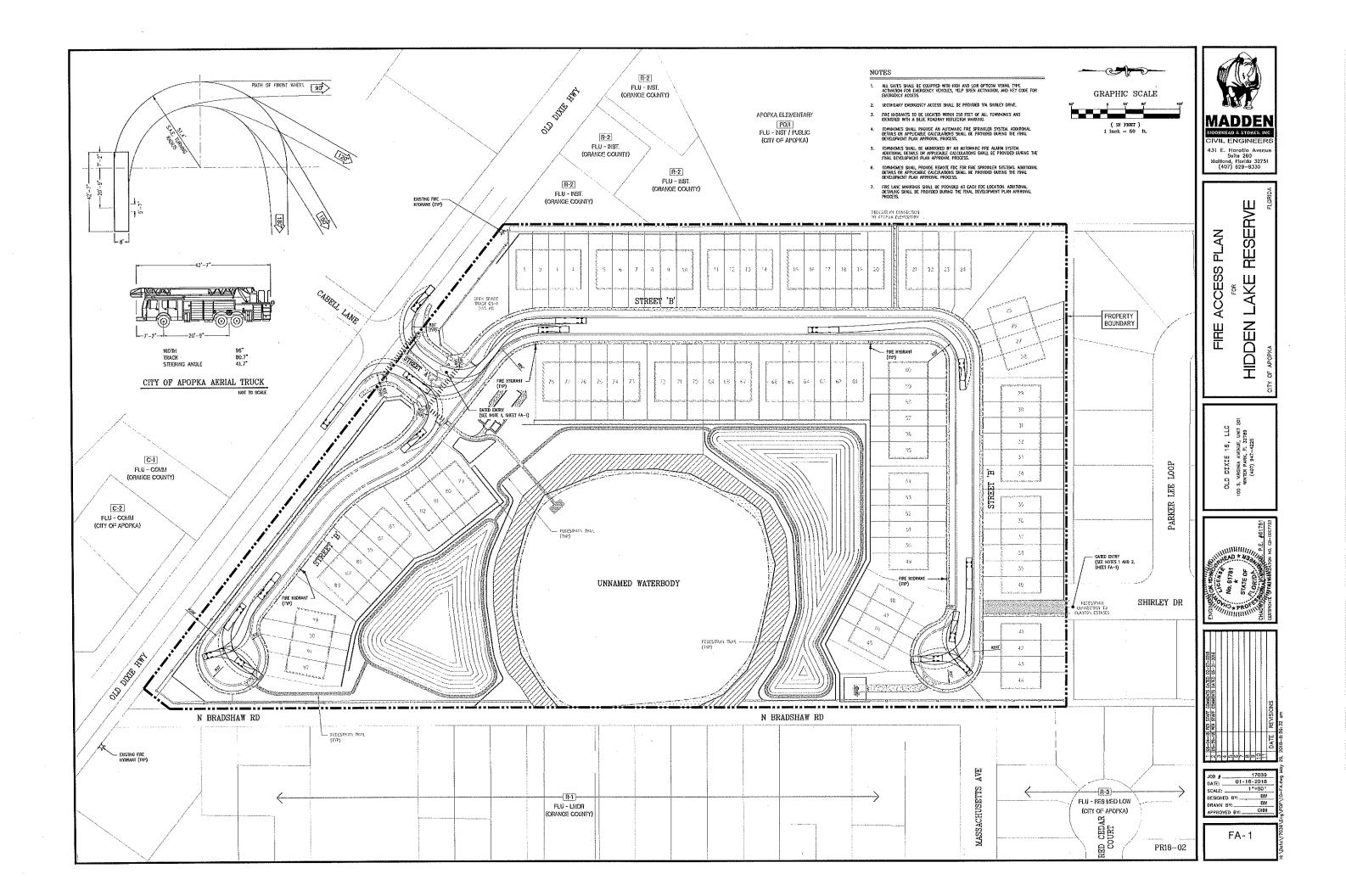
DS-1

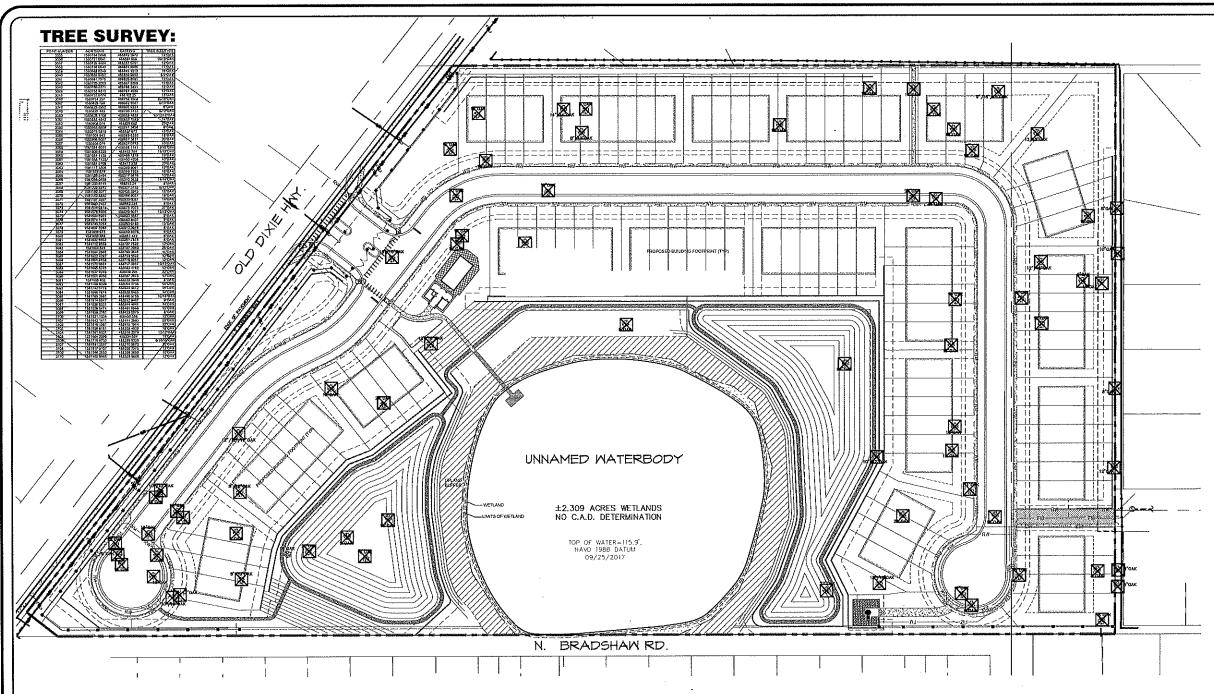
PR18-02











### **GENERAL NOTES:**

1. EXISTING TREE LOCATIONS FROM SURVEY BY SHANNON SURVEYING, INC. 499 NORTH S.R. 434 - SUITE 2045 ALTAMONTE SPRINGS, FL 32714. TREE SURVEY PREPARED 03/08/18

2. PROPOSED REPLACEMENT TREE DIAMETER SHALL BE 3" DBH MINIMUM, WITH A PLANTED MINIMUM HEIGHT OF  $8^{\prime}$  AND SHALL BE FLORIDA DEPT. OF AGRICULTURE NUSERY GRADE STANDARD OF NO. 1 OR BETTER.

- 3. MAXIMUM TREE STOCK REQUIREMENTS:

   THE MAXIMUM TREE STOCK THE CITY MAY REQUIRE ON A PARTICULAR PROPERTY SHALL BE 30 INCHES DBH PLUS 5 INCHES DBH PER 1,000 SF, FOR REPLACEMENT OF SPECIMEN OR HISTORIC TREES.

   THE MAXIMUM TREE STOCK THE CITY MAY REQUIRE ON A PARTICULAR PROPERTY SHALL BE 21 INCHES DBH PLUS 3.5 INCHES DBH PER 1,000 SQUARE FEET, FOR LAND CLEARING AND REPLACEMENT OF PROTECTED TREES OTHER THAN SPECIMEN OR HISTORIC TREES.
- 4. TREES REMOVED ARE TO BE REPLACED AT A RATIO OF ONE INCH REMOVED TO ONE INCH REPLACED.
- 5. TREE REPLACEMENT SHALL MEET ALL REQUIREMENTS OF THE CITY OF APOPKA LDC.
- 6. PROPOSED SIDEWALKS AND DRIVEWAYS CAN BE SHIFTED TO SAVE EXISTING TREES OR ACCOMMODATE STREET TREES WHERE POSSIBLE. ANY CHANGES IN LOCATION WILL BE SHOWN ON FINAL DEVELOPMENT PLANS.

### TREE REPLACEMENT

TREE INFORMATION TABLE	
Total trees on current non-altered site	75
Total inches on current non-altered site	1037
Total specimen trees (included above)	3
Total specimen tree inches (include above)	174
Total Inches to be removed	1037
Total Inches retained	0
Total replacement trees (3" DBH) proposed	326
Total replacement inches proposed	976
Deficit inches replacement for tree bank fund	61
Total Tree Inches post development (planted)	976

COMMUNITY PARK TREE TABLE COMMUNITY PARK AREA 29,620.8 SF
REQUIRED TREES (1/4000) 8 @ 3" PER TREE

STREET TREES	101
PARK/R-1	29
OS/BUFFER TRACTS	104
 1 TREE PER LOT	92
TOTAL REPLACEMENT	326

TREE REPLACEMENT

## **TREE LEGEND**



12"OAK TREE LOCATION, TYPE, SIZE



TREE REMOVAL

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR HIDDEN LAKE RESERVE SUBDIVISION IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21,2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

REG. NO

SIGNATURE

DATE





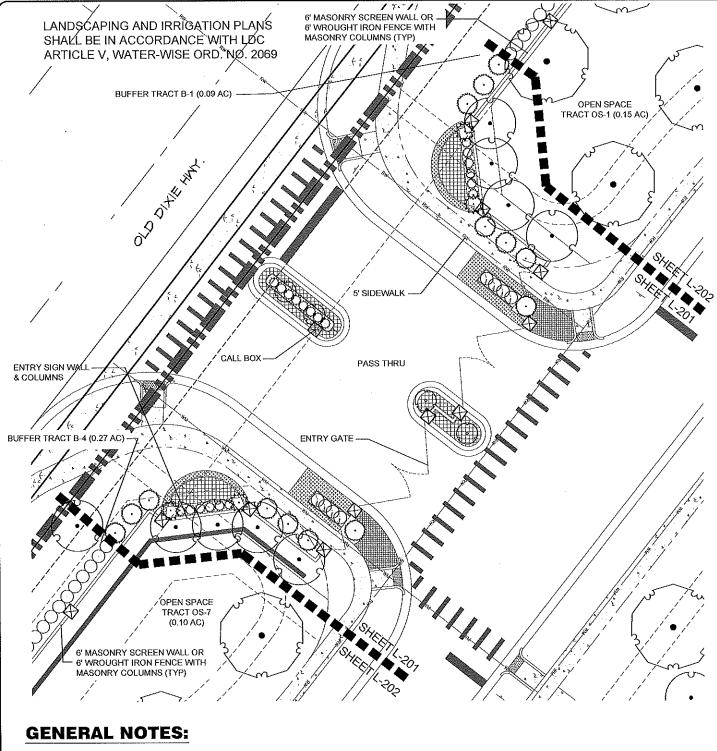
TREE LOCATION PLAN PRELIMINARY DEVELOPMENT PLAN HIDDEN LAKE RESERVE APOPKA, FLORIDA

Group inc.
Architecture, Project Man.
Winter Park, Fl. 32789 (4

design

daly Urban Plani 913 N Peni





## Ŏ

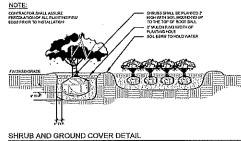
 $\odot$ SPRES 0 0 0 SHRUB AREAS

SEE SHEET 202 FOR STREET TREES AND COMMON AREA PLANTING

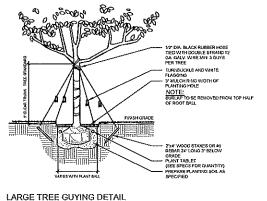
I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR HIDDEN LAKE RESERVE

DATE SIGNATURE REG NO

### **PLANTING DETAILS**



TYPICAL PLANT SPACING



SMALL TREE GUYING DETAIL

**PLANT SCHEDULE - ENTRANCE** 

OF SUBDIVISION IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2009

ADOPTED MAY 21,2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION





PRELIMINARY DEVELOPMENT PLAN
HIDDEN LAKE RESERVE

inc.

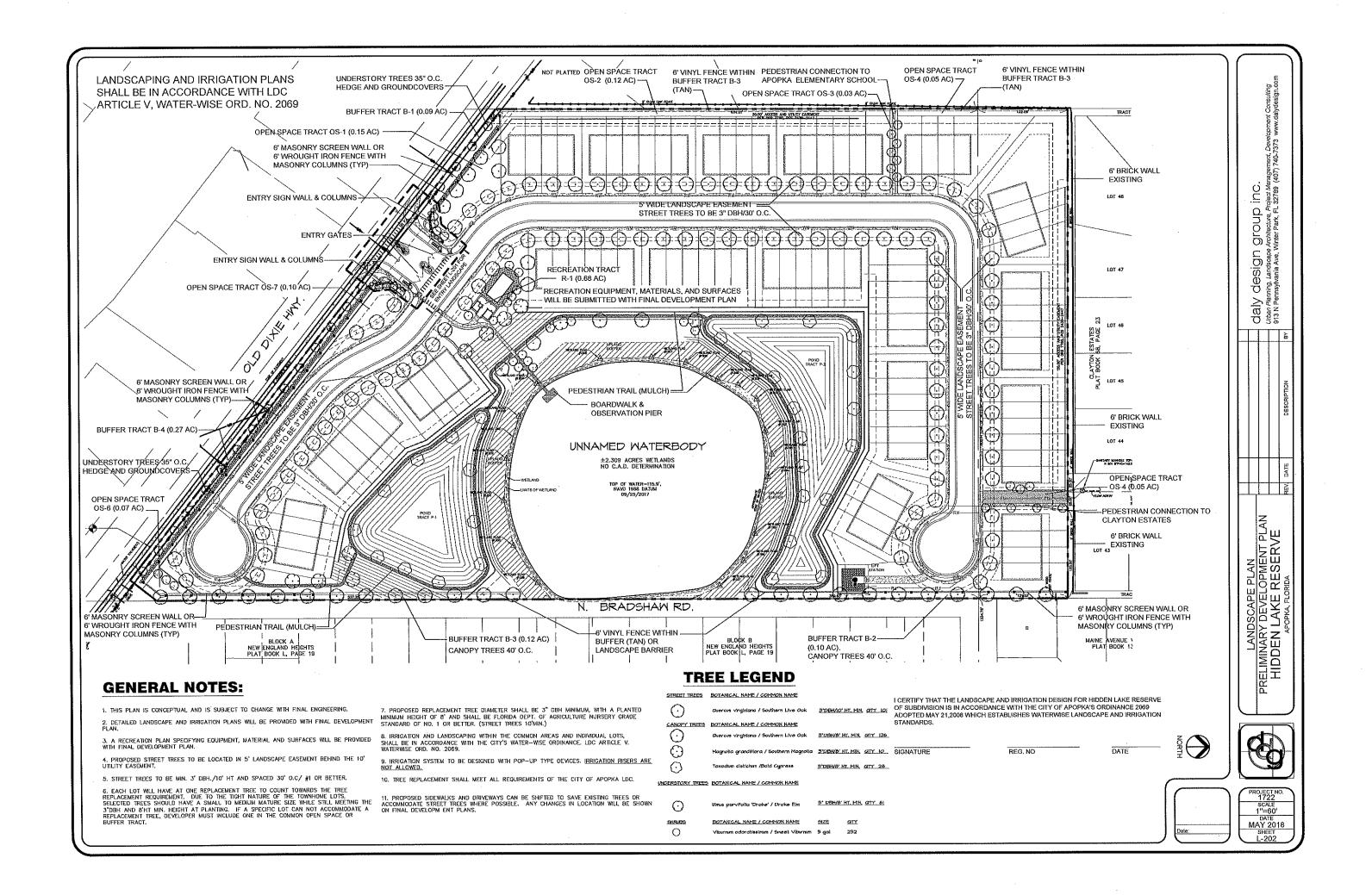
group

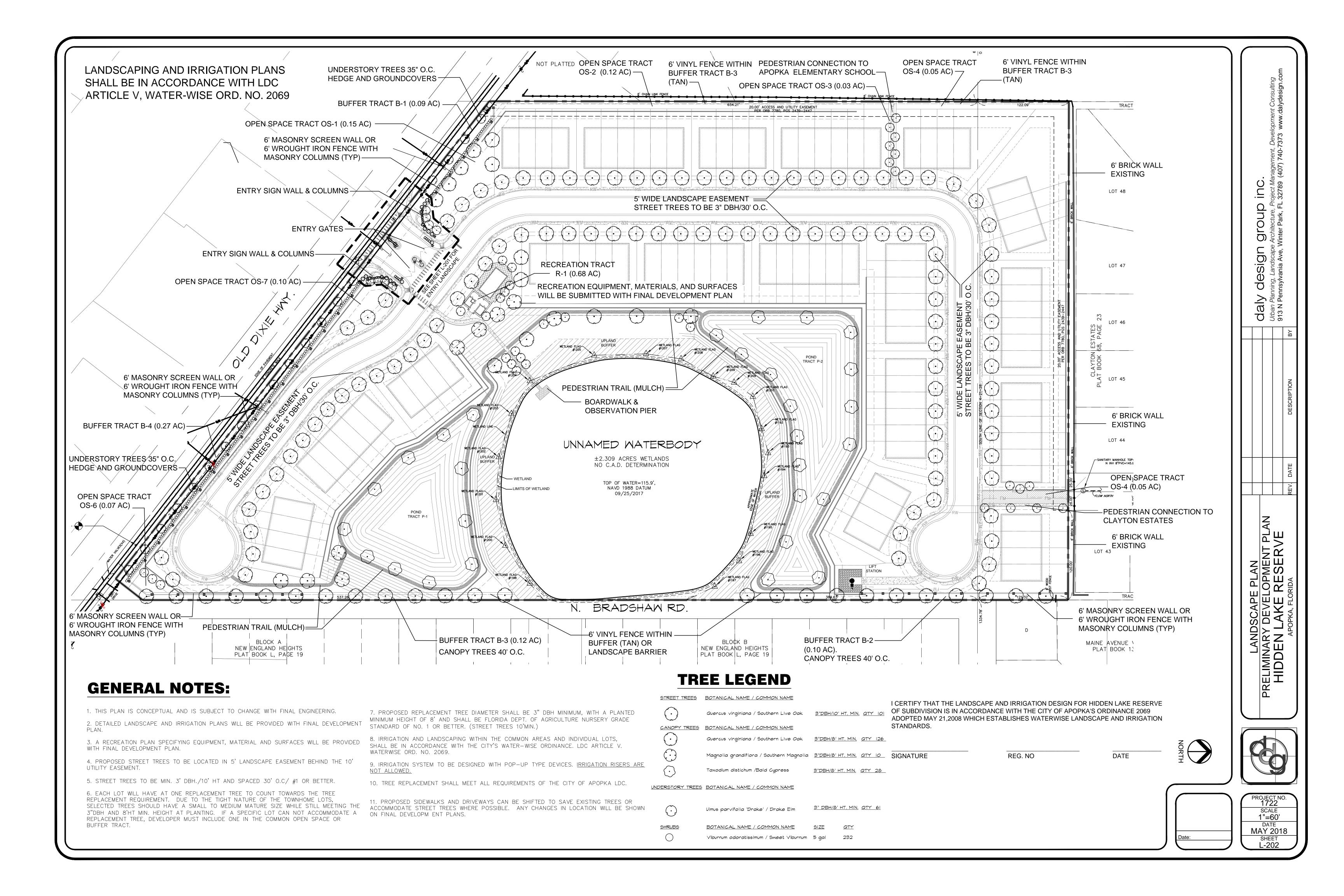
design

daly Urban Plan 913 N Pen

ROJECT N 1722 SCALE 1"=10' DATE MAY 2018 SHEET L-201

- 1. THIS PLAN IS CONCEPTUAL AND IS SUBJECT TO CHANGE WITH FINAL ENGINEERING.
- 2. DETAILED LANDSCAPE AND IRRIGATION PLANS WILL BE PROVIDED WITH FINAL DEVELOPMENT PLAN.
- 3. A RECREATION PLAN SPECIFYING EQUIPMENT, MATERIAL AND SURFACES WILL BE PROVIDED WITH FINAL DEVELOPMENT PLAN.
- 4. PROPOSED STREET TREES TO BE LOCATED IN 5' LANDSCAPE EASEMENT BEHIND THE 10' UTILITY EASEMENT.
- 5. STREET TREES TO BE MIN. 3' DBH./10' HT AND SPACED 30' O.C./ #1 OR BETTER.
- 6. EACH LOT WILL HAVE AT ONE REPLACEMENT TREE TO COUNT TOWARDS THE TREE REPLACEMENT REQUIREMENT. DUE TO THE TIGHT NATURE OF THE TOWNHOME LOTS, SELECTED TREES SHOULD HAVE A SMALL TO MEDIUM MATURE SIZE WHILE STILL MEETING THE 3"OBH AND B"HT MIN. HEICHT AT PLANTING. IF A SPECIFIC LOT CAN NOT ACCOMMODATE A REPLACEMENT TREE, DEVELOPER MUST INCLUDE ONE IN THE COMMON OPEN SPACE OR BUFFER TRACT.
- 7. PROPOSEO REPLACEMENT TREE DIAMETER SHALL BE 3" DBH MINIMUM, WITH A PLANTED MINIMUM HEIGHT OF 8' AND SHALL BE FLORIDA DEPT. OF AGRICULTURE NURSERY GRADE STANDARD OF NO. 1 OR BETTER. (STREET TREES 10'MIN.)
- 8. IRRIGATION AND LANDSCAPING WITHIN THE COMMON AREAS AND INDIMIDUAL LOTS, SHALL BE IN ACCORDANCE WITH THE CITY'S WATER-WISE ORDINANCE. LDC ARTICLE V. WATER-WISE ORD. NO. 2069.
- 9. IRRIGATION SYSTEM TO BE DESIGNED WITH POP-UP TYPE DEVICES. <u>IRRIGATION RISERS_ARE_NOT_ALLOWED</u>. 10. TREE REPLACEMENT SHALL MEET ALL REQUIREMENTS OF THE CITY OF APOPKA LDC.
  - 11. PROPOSED SIDEWALKS AND DRIVEWAYS CAN BE SHIFTED TO SAVE EXISTING TREES OR ACCOMMODATE STREET TREES WHERE POSSIBLE. ANY CHANGES IN LOCATION WILL BE SHOWN ON FINAL DEVELOPM ENT PLANS.





From: DiLuzio Boerger, Jamie E.
To: <u>Jean Sanchez; Goldberg Allan</u>

Cc: Singer Gary: Bobby Wanas; Daly Tom; James Hitt; David Moon; Bobby Howell; Edith Torres; Randall Fernandez;

Richard Earp

Subject: RE: VAR18-06 Hidden Lake/TGINF LLC

Date: Thursday, May 17, 2018 4:44:51 PM

Attachments: <u>image001.jpg</u>

Jean,

OCPS has reviewed all the information provided. It is our recommendation that given OCPS' history with the stability of PVC fencing during strong wind events, we would not support the request for a PVC fence adjacent to OCPS property.

Please add this to DRC comments.

Thank you,

Jamie

**From:** Jean Sanchez [mailto:JeSanchez@apopka.net]

**Sent:** Thursday, May 17, 2018 8:46 AM **To:** Goldberg Allan <goldgator@gmail.com>

**Cc:** Singer Gary <unibilt@mindspring.com>; Bobby Wanas <bobby@madden-eng.com>; Daly Tom <tdaly@dalydesign.com>; James Hitt <jhitt@apopka.net>; David Moon <dmoon@apopka.net>; Bobby Howell <HHowell@apopka.net>; Edith Torres <edithtorres@apopka.net>; DiLuzio Boerger, Jamie E. <Jamie.DiLuzioBoerger@ocps.net>; Randall Fernandez <rfernandez@apopka.net>; Richard Earp <REarp@apopka.net>

**Subject:** RE: VAR18-06 Hidden Lake/TGINF LLC

Good morning, Mr. Goldberg,

In reference to the (attached) responses/statement of the variance request proposing a 6-foot tall PVC fence in lieu of the required brick/masonry/pre-cast wall adjacent to N. Bradshaw Road, the Development Review Committee (DRC) is not in support of the proposed fencing due to safety/enforcement issues and potential future improvement of the platted right-of-way (ROW). The decision was based on current enforcement issues facing the City for subdivisions with vinyl fencing allowed on the perimeter of their subdivision, adjacent to the ROW, and fence panels are being forcibly removed allowing for trespassing or creating unapproved access. We received a response from Bobby Wanas to proceed with the variance application/public hearing. The other issues/concerns cited in the variance request is regarding the Code required buffer wall on the north that abuts Clayton Estates Subdivision. This was discussed at the February 7, 2018 DRC meeting for the first submittal of the PDP that this buffer wall is not required due to the existing masonry/brick/pre-cast wall for Clayton

Estates. Orange County Public Schools (OCPS) is in touch with their liaison to discuss the proposed buffer on the western perimeter of the project site, abutting Apopka Elementary. Once we receive a response from OCPS, we will let you know.

Since the PDP is scheduled to be in front of DRC next week, Wednesday, May 23 at 9:00 A,M., the variance may certainly be brought up as it pertains to the site design of this subdivision. With that said, Staff has not determined a tentative public hearing schedule for the PDP because the Community Development Department has not received all comments from DRC members. Comments are scheduled to be sent to the applicant on Monday, May 21 close of business. Based on those forthcoming comments and DRC discussion next week, Staff may determine a tentative hearing schedule after the DRC meeting.

Thank you,

### Jean Sanchez

Planner II

Phone: 407.703.1753 jesanchez@apopka.net



**From:** Goldberg Allan [mailto:goldgator@gmail.com]

**Sent:** Wednesday, May 16, 2018 5:15 PM **To:** Jean Sanchez < <u>JeSanchez@apopka.net</u>>

**Cc:** Singer Gary <<u>unibilt@mindspring.com</u>>; Bobby Wanas <<u>bobby@madden-eng.com</u>>; Daly Tom <<u>tdaly@dalydesign.com</u>>; James Hitt <<u>jhitt@apopka.net</u>>; David Moon <<u>dmoon@apopka.net</u>>; Bobby Howell <<u>HHowell@apopka.net</u>>; Edith Torres <<u>edithtorres@apopka.net</u>>

**Subject:** Re: VAR18-06 Hidden Lake/TGINF LLC

Importance: High

Jean, I was disappointed that we didn't receive notice of the DRC meeting this morning discussing our variance requests. I assumed incorrectly that the variance request would be heard at the same DRC meeting as the PDP next week. Could you please specifically let me know if all portions of the variance requests will not be supported with an explanation for each?

Could you also verify that our PDP is going to the June 12 Planning Commission meeting also?

Allan Goldberg 407-947-4225 goldgator@gmail.com



### CITY OF APOPKA PLANNING COMMISSION

June 12, 2018 **PUBLIC HEARING** MEETING OF:

X SITE PLAN FROM: Community Development

SPECIAL REPORTS **EXHIBITS**: Vicinity Map X OTHER: Final Development Plan/Plat

Adjacent Zoning Map Adjacent Uses Map Existing Use Map

Final Development Subdivision

Plat

**SUBJECT:** STANTON RIDGE SUBDIVISION FINAL PLAT\REPLAT

RECOMMEND **APPROVAL** OF THE **STANTON** RIDGE **REQUEST:** 

SUBDIVISION FINAL DEVELOPMENT PLAN AND PLAT

**SUMMARY**:

OWNER/APPLICANT: Central Florida Expressway Authority

Straddles State Road 429, west of the intersection of Belgian Street and Plymouth Sorrento Road. LOCATION:

**EXISTING USE:** Vacant single-family lot residential subdivision

FLUM DESIGNATION: Residential Low Suburban (0-3.5 du/ac)

33 single family lots, replat of existing subdivision (lots 95' x 130') impacted by S.R. 429 right-of-way PROPOSED DEVELOPMENT:

**ZONING:** R-1AA

PROEJCT SIZE: 20.59 /- acres

### **RELATIONSHIP TO ADJACENT PROPERTIES:**

Direction	Land Use	Zoning	Present Use
North - City	Agriculture	AG	SR 429 right-of-way
East - City	Residential Low Suburban	R-1AA, A-	Single Family residences,
		1 (ZIP)	agricultural uses
South - County	Low Density Residential	"County"	SR 429 right-of-way,
	•	A-1, R-1A	Single-family residences
West – County,	"City" Institutional/Public Use, "City"	"County"	Single Family residences,
City	Residential Low Suburban, "County"	R-1,	City of Apopka Plymouth
	Low Density Residential	"City" A-1	Regional Water Plant
	•	(ZIP)	_

### **DISTRIBUTION**

Mayor Nelson Finance Director **Public Services Director** Commissioners **HR** Director Recreation Director City Administrator IT Director City Clerk Community Development Director Police Chief Fire Chief

<u>ADDITIONAL INFORMATION</u>: Stanton Ridge was platted as a 65 lot subdivision in 2007 with access to Plymouth Sorrento Road from Belgian Street. Before homes were constructed in the platted Stanton Ridge subdivision, the Central Florida Expressway Authority (then the Orlando-Orange County Expressway Authority) acquired the subdivision to use the eastern portion for S.R. 429 right-of-way. By minor redesign of the subdivision, thirty-three of the original lots can be saved, all on the west side of S.R. 429. Access to the subdivision will continue from Belgian Street, which now has a bridge extending over S.R. 429. Belgian Street is a public road owned and maintained by the City. The bridge will be maintained by the Central Florida Expressway Authority.

Lots range from the smallest at 12,350 sq. ft. to the largest at 23,862 sq. ft. Majority of lots exceed 12,500 sq. ft.

A development agreement will accompany the new final development plan and plat when they appear before City Council at a public hearing. Development agreement is to address the following:

- 1. Delay landscaping and tree planting along the streets and common areas until a homebuilder acquires the project from the Central Florida Expressway Authority.
- 2. Delay completion of the park and recreation facilities until a homebuilder acquires the project.
- 3. Belgian Street landscape maintenance by the Stanton Ridge HOA.
- 4. Maintenance of the bridge.
- 5. Assurances to the future homebuilder that entitlements are in place, allowing home construction to proceed.

### **Development Profile:**

No. of residential lots:

33 single family residential lots

Minimum lot width: 95 feet
Minimum lot depth: 130 Feet
Minimum lot size: 12,350 square feet
Minimum house livable area: 1,700 square feet

Setbacks:

Front: Min. 25 feet
Rear: Min. 20 feet
Side: Min. 10 feet

Garage: 30 feet (front entry)

<u>COMPREHENSIVE PLAN COMPLIANCE</u>: The proposed use of the property is consistent with the Residential Low Suburban Future Land Use Designation and the R-1AA zoning category.

**SCHOOL CAPACITY REPORT:** A School Capacity Enhancement Agreement has been approved by OCPS. The location is served by the following schools: Wolf Lake Elementary, Wolf Lake Middle, and Apopka High School. As the plat was previously recorded, school capacity enhancement and concurrency have already been satisfied.

PLANNING COMMISSION – JUNE 12, 2018 STANTON RIDGE –FINAL DEVELOPMENT PLAN AND PLAT PAGE 3

**ORANGE COUNTY NOTIFICATION**: Notification occurred to Orange County occurred through the Development Review Committee agenda distribution, of which Orange County is on the notification list.

### **PUBLIC HEARING SCHEDULE:**

June 12, 2018 - Planning Commission (5:30 pm) July 18, 2018 - City Council (7:00 pm)

### **RECOMMENDED ACTION:**

The **Development Review Committee** recommends approval of the Stanton Ridge Final Development Plan and Plat

**Planning Commission:** Find the Stanton Ridge Final Development Plan and Plat consistent with the Comprehensive Plan and Land Development Code, and recommend approval of the Stanton Ridge Final Development Plan and Plat, subject to City Council approval of a Development Agreement.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

### PLANNING COMMISSION – JUNE 12, 2018 STANTON RIDGE –FINAL DEVELOPMENT PLAN AND PLAT PAGE 4

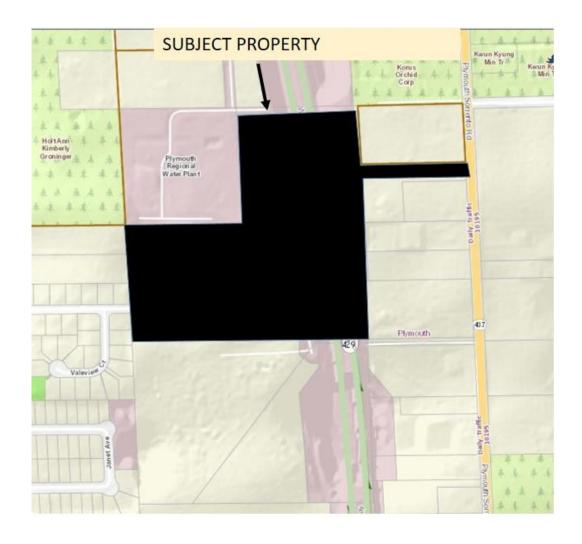
**Project:** STANTON RIDGE

Owned by: Central Florida Expressway Authority

Located: West of Plymouth-Sorrento Road and Belgian Street

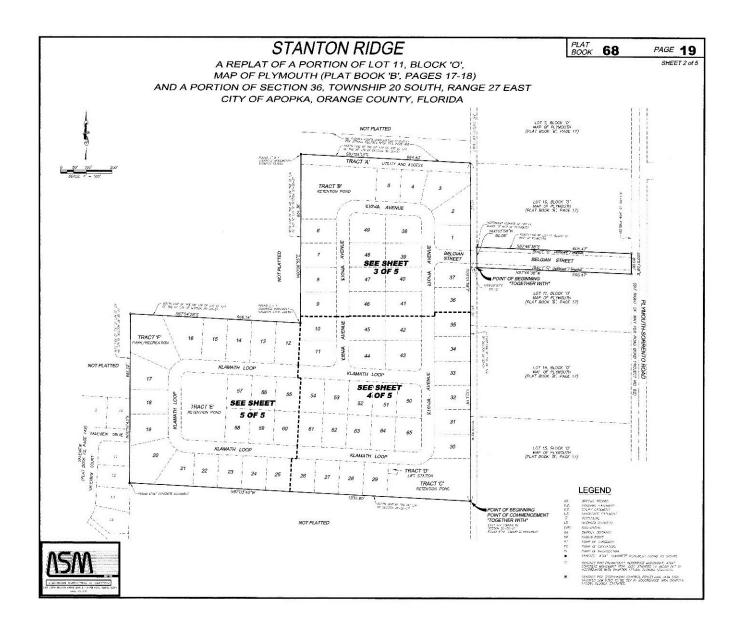


# **VICINITY MAP**



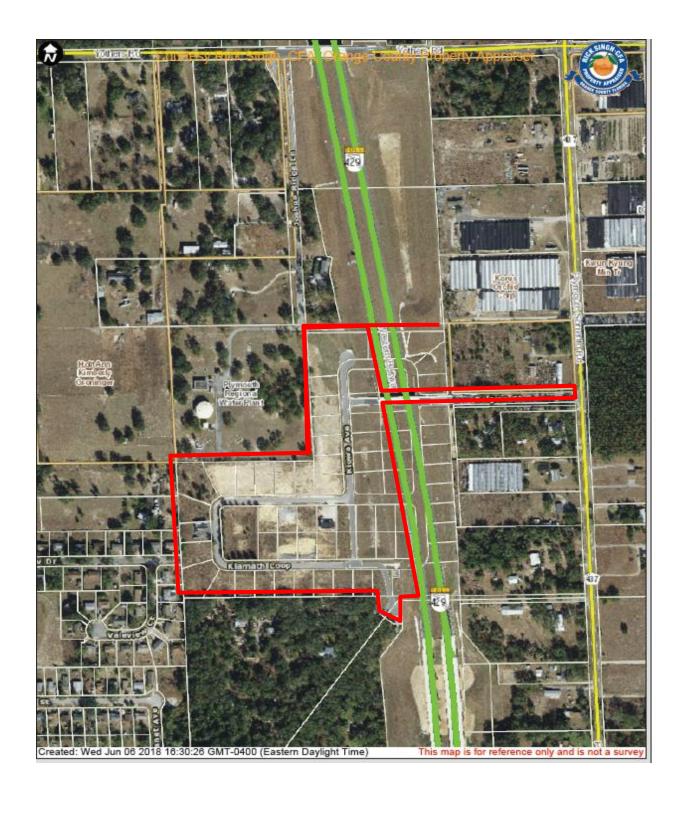


# PREVIOUSLY APPROVED SUBDIVISION PLAN/PLAT





## **ADJACENT USES**



# FINAL DEVELOPMENT PLAN

# STANTON RIDGE

CITY OF APOPKA, FLORIDA

# PREPARED FOR

# Central Florida Expressway Authority

### LEGAL DESCRIPTION (AS FURNISHED)

ALL THAT TRACT OR PARCEL OF LAND LYING IN SECTION 36, TOWNSHIP 20 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, BEING A REPLAT OF A PORTION OF STANTON RIDGE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 68, PAGES 18 THROUGH 22 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, TOGETHER WITH AN ANNEXED PARCEL LYING AT THE SOUTHEAST CORNER THEREOF AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

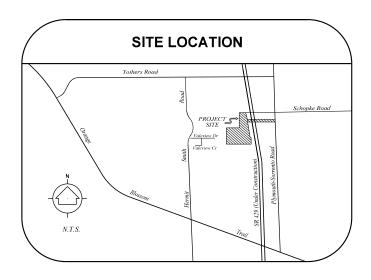
COMMENCE AT THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF SECTION 38, TOWNSHIP 20 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, BBING A FOUND 67X6" CONCRETE MONUMENT, NO IDENTIFICATION: THENCE SOUTH 89°28'33" WEST ALONG THE SOUTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 38, A DISTANCE OF 278.73 FEET TO A POINT ON THE UMITED ACCESS RIGHT OF WAY LINE OF STATE ROAD 429 AND THE POINT OF BEGINNING; THENCE DEPARTING SAID SUNTH LINE, A DISTANCE OF 134.31 FEET TO A POINT; THENCE DEPARTING SAID LIMITED ACCESS RIGHT OF WAY LINE, RUN SOUTH 89°3159" WEST, A DISTANCE OF 46.60 FEET TO A POINT; THENCE DEPARTING SAID LIMITED ACCESS RIGHT OF WAY LINE, RUN SOUTH 89°3159" LINE, A DISTANCE OF 66.60 FEET TO A POINT ON A POINT; THENCE DEPARTING SAID LIMITED ACCESS RIGHT OF WAY LINE, RUN SOUTH 89°3159" LINE, A DISTANCE OF 66.60 FEET TO A POINT ON A POINT; THENCE NORTH 109°3159 EAST ALONG SAID SOUTH LINE, A DISTANCE OF 96.50 FEET TO A POINT ON A POINT. THENCE NORTH 109°3159" LINE, A DISTANCE OF 97.48 FEET TO A FOUND 45°44" CONCRETE MONUMENT STAMPED "PS 8993", SAID POINT BEING ON THE WEST LINE OF THE SOUTHHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE MORTHMEST 1/4 OF THE MORTHME

COMMENCE AT THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 20 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA COMMENCE AT THE SOUTHEAST CONNER OF THE NORTHEAST 1/4 OF SECTION 35, TOWNSHIP 25 WORD 1/4 RANGE 27 EAST, ORANGE COUNTY, FLORING BIRING A FOUND 67% CONNERTE MONUMENT, NO IDENTIFICATION FLORING MORTH 03/29/20 WEST ALONG 27 WEST ALONG 27 THE CAST LINE OF SAID SECTION 36, A DISTANCE OF 91,23 FEET TO THE POINT OF SEGIONING. THENCE DEPARTMEND AS ADDEST LINE, A DISTANCE OF 92,25 FEET WEST OF ADDESTANCE OF 92,25 FEET WEST OF ADDESTANCE OF 93.07 FEET TO A POINT OF SEGIONING THE SEGI

ALL THAT TRACT OR PARCEL OF LAND LYING IN SECTION 31, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING A REPLAT OF A PORTION OF STANTON RIDGE, ACCORDING TO THE FLAT THEREOF, AS RECORDED IN PLAT BOOK 88, PAGES 18 THROUGH 22 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS.

COMMENCE AT THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF SECTION 38, TOWNSHIP 20 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA BEING A FOUND 5"X6" CONCRETE MONUMENT, NO IDENTIFICATION. THENCE NORTH 03"29:20" WEST ALONG THE EAST LINE OF THE NORTHEAST 1/4 OF SAID SECTION 38, A DISTANCE OF 912.32 FEET TO A POINT. THENCE DEPARTING SAID EAST LINE, RUN NORTH 88"5025" EAST. A DISTANCE OF 80.07 FEET TO A POINT 25 FEET EAST OF AND PARALLEL TO SAID EAST LINE AND THE POINT OF BEGINNING. THENCE NORTH 03"2020" WEST, A DISTANCE OF 80.07 FEET TO A POUND 4"X4" CONCRETE MONUMENT STAMPED "LWASE, RIS 1849 FRM RIS 1858 PCP, SAID OTH SEINOT BEING THE SOUTHEAST CORNER OF LOT 10, BLOCK O, MAP OF PLYMOUTH, ACCORDING TO THE PLAT THEREOF. AS RECORDED IN PLAT BOOK B, PAGE 17 OF THE PUBLIC RECORDS OF ORANGE COUNTY. FLORIDA: THENCE NORTH 89"50"5" EAST ALONG THE SOUTH LINE OF SAID LOT 10, BLOCK O, STIENCE OF 80.55 I FEET TO A POINT ON THE EXISTING WESTERLY RIGHT OF WAY LINE OF PLYMOUTH SORRENTO ROAD; THENCE DEPARTING SAID SOUTH LINE, RUN SOUTH 03"29:20" EAST ALONG SAID WESTERLY RIGHT OF WAY LINE, A DISTANCE OF 80.55 FEET TO A POINT. THENCE DEPARTING SAID WESTERLY RIGHT OF WAY LINE, RUN SOUTH 88"5025" WEST, A DISTANCE OF 80.55. FEET TO A POINT. THENCE DEPARTING SAID WESTERLY RIGHT OF WAY LINE, RUN SOUTH 88"5025" WEST, A DISTANCE OF 80.55. FEET TO THE POINT OF BEGINNING.

CONTAINING AN AGGREGATE AREA OF 20,594 ACRES, MORE OR LESS.



### OWNER/DEVELOPER

Central Florida Expressway Authority 4974 ORL Tower Road Orlando, FL 32807 407-690-5000

### SURVEYOR

Surveying & Mapping 2700 Westhall Lane, Suite 137 Maitland, FL 32751 407.660.2322

### **ENGINEER**

GTC Engineering Corporation 98 South Semoran Boulevard Orlando, FL 32807 407-380-0402

The Engineer certifies that these construction plans were prepared in accordance with the "Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways, State of Florida" (FDOT Green Book) and City of Apopka regulations and

### **TABLE OF CONTENTS**

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	GENERAL NOTES
3	OVERALL SITE PLAN
4-5	GRADING PLAN
6	PLAN/PROFILE - KIOWA

N/PROFILE - KIOWA AVE PLAN/PROFILE - KLAMATH LOOP

### GTC Engineering Corporation

407-380-0402

JOB NUMBER FLD-31

- 1. All construction is to conform with City of Apopka standards and specifications, unless otherwise walved by the City of Apopka engineer
- The Engineer certifies that all roadways were designed to the applicable standards, as set forth by City of Apopka and the latest edition of the Fiorida Department of Transportation Manual of Uniform Standards for Design, Construction, and Maintenance for Streets and Highways
- 3. The Contractor shall coordinate all work within existing road right-of-ways with the City of Apopka, Orange County and the Florida Department of Transportation
- 4. It will be the responsibility of the Contractor to get the necessary Right-of-Way Permit(s) and provide for the safety and control of local traffic during construction
- 5. The Contractor shall be extremely cautious when working near trees that are to be saved, whether shown in the plans or designated in the field.
- 6. The Contractor shall be responsible for locating and verifying (horizontally and vertically) all existing utilities before construction, and for notifying the various utility companies to arrange for any relocation, temporary disruption of service, or clarification of activity regarding said utility. The contractor shall exercise caution when crossing an underground utility, whether shown in these plans or field located. All utilities which interfere with the proposed construction shall be relocated by the respective utility companies and the Contractor shall cooperate with them during relocation operations. Any delay or inconvenience of the various utilities shall be incidental to the contract and no extra compensation will be allowed
- 7. The locations of all existing utilities, facilities, and any other features shown on these plans have been determined from the best available information and are provided for the convenience of the Contractor. The Engineer does not guarantee the accuracy or the completeness of the location information provided. Any inaccuracy or omission in such information shall not relieve the Contractor of his responsibility to protect such existing features from damage or unscheduled Interruption of service. Should a discrepancy arise between these plans and actual field conditions which would appreciably affect the execution of these plans, the Contractor will halt construction and notify the Engineer immediately
- 8. The Contractor shall be responsible for meeting all inspection criteria and schedules, and for signing for said inspections
- 9. The electrical distribution system is to be designed and installed by the electrical power utility. The Contractor will coordinate scheduling with the electrical power utility to ensure proper construction phasing, and to allow the utility to install street crossings and other required
- 10. The Contractor shall not excavate, remove, or otherwise disturb any material, structure, or part of a structure which is located outside the lines, grades or grading sections established for this project, except where such excavation or removal is provided for in the contract, plans or specifications
- 11 All work and all materials furnished shall conform with the lines grades grading sections, cross sections, dimensions, material requirement, and testing requirements specified in the contract, plans or specifications.
- 12. Prior to commencing work, the Contractor shall furnish, erect, and maintain all barricades, warning signs, and markings for hazards and the control of traffic, in conformity with the Manual of Uniform Traffic Control Devices for Streets and Highways or as directed by the City of Apopka Traffic Engineer, to effectively prevent accidents in all places where the work causes obstruction to traffic or constitutes in any way a hazard to the public.
- 13. All existing utilities shown on the plans have been field verified by Geodata Consultants, Inc.
- 14. After the roadway has been constructed to subgrade, it shall be proof-rolled to assure that proper compaction has been attained. The proof-rolling and compaction operations shall be inspected and tested by a Florida licensed Soils Engineer to assure that the specified compaction is maintained and all deleterious materials have been removed.
- 15. In areas which require fill material, the Contractor will strip or otherwise remove all vegetation such as brush, heavy sods, heavy growth of grass, decayed vegetable matter, rubbish, and any other deleterious material before the embankment is started. Immediately prior to the placing of fill materials, the entire area being filled shall be scarified in a direction approximately parallel to the axis of fill. The Geotechnical Engineer shall approve the area prior to the placement of fill.
- 16. Telephone system will be designed and installed by telephone utility. The Contractor will coordinate scheduling with the telephone utility to ensure proper construction phasing, and to allow the utility to install street crossings and other required sleeves.
- 17 Install valve boxes with all valves. Valve boxes under pavement shall have traffic-hearing
- 18. The Contractor shall be responsible for the maintenance of all landscape buffers, retention and detention facilities until the work has been accepted by the Owner. All disturbed areas shall be returned to their original condition.
- 19. The Contractor shall comply with all legal load restrictions in the hauling of materials in public roads beyond the limits of the work. A special permit will not relieve the Contractor of liability for the damage that may result from the moving of material and equipment.
- 20. The Contractor shall familiarize himself with the policies and guidelines established by the City of Apopka for the preservation of all public and private property. The Contractor shall be responsible for all damage or injury to property of any character during the execution of the work, resulting from any act, omission, neglect, or misconduct in his manner or method of executing the work, or at anytime due to defective work or materials.
- 21. Fire protection shall be provided according to City of Apopka Regulations
- 22. The Contractor shall ensure that proper soil densities are achieved for placement of all headwall/endwall footings, retaining wall footings, and in general, any footing support described on these plans. It will also be the responsibility of the Contractor to ensure that sufficient geotechnical testing has been performed prior to construction
- 23. It is the Contractor's responsibility to obtain a copy of the Geotechnical Engineer's report for this project from GTC Engineering Corporation and meet the Geotechnical Engineer's requirements for soll preparation on the site. The Contractor's Geotechnical Engineer shall certify all site, utility, and roadway compaction as well as underdrain and pavement construction to GTC Engineering Corporation. Geotechnical recommendations are not the responsibility of GTC Engineering Corporation. GTC Engineering Corporation has relied on the geotechnical report in the preparation of the plans. Any conflict between information within the report and these plans shall be reported to the Engineer and/or Owner. GTC Engineering Corporation assumes no responsibility for the correctness, completeness, or accuracy of the geotechnical information.

- 24. During construction, no direct discharge of water will be allowed to downstream receiving waters. The Contractor is responsible for water quality and shall route discharges in such a manner to adequately remove silt before runoff from the site.
- 25. For sign details, refer to the "Manual on Uniform Traffic Control Devices," published by the U.S. Department of Transportation, Federal Highway Administration, latest edition.
  All signs to be single mounted according to F.D.O.T. Index No. 11862 (70 mph wind loading) and F.D.O.T. Index No. 17302.
- 26. Blue reflective payement markers shall be placed in the center of the driving lane in front of all Fire Hydrants.
- a. Provide effective temporary and permanent erosion control following the requirements In Section 104 of the State of Florida Department of Transportation Standar Specifications for Road and Bridge Construction, 2017 Edition (FDOT Section 104).
- b. Control features, methods and conditions included in this contract include the following as indicated by X in blank
- (1) X Coordinate construction of temporary erosion control features with permanent erosion control features.
- (2) X Control operation which result in water pollution (FDOT Section 104-3).
- (3) X Provide schedule for clearing and grubbing, earthwork operations and temporary erosion control features (FDOT Section 104-5).
- (4) ___ Limitation of exposure of erodible earth without temporary or permanent erosion control features is _____ square feet (FDOT Section 104-6.1).
- (5) X Temporary grassing (FDOT Section 104-6.4.2).
- (6) X Temporary sod (EDOT Section 104-6 4.3)
- (7) X Temporary mulching (FDOT Section 104-6.4.4).
- (8) ___ Sandbagging (FDOT Section 104-6.4.5).
- (9) ___ Slope drains (FDOT Section 104-6.4.6).
- (10) Sediment basins (FDOT Section 104-6.4.7).
- (11) ___Artificial coverings (FDOT Section 104-6.4.8).
- (12) X Berms (FDOT Section 104-6 4 9)
- (13) ___ Baled hav or straw (FDOT Section 104-6.4.10).
- (14) X Temporary sitt fences and staked sitt barriers (EDOT Section 104-6 4 11)
- (15) ___ Floating silt barriers (FDOT Section 104-6.4.11)
- (16) X Remove temporary erosion control features (EDOT Section 104-6.5)
- (17) X Maintain permanent and temporary erosion control features (FDOT Section
- (18)  $\underline{X}$  This contract design has been approved by the OWNER and regulatory agencies having an interest in erosion control abatement. The design in its final form meets or exceeds minimum standards. All temporary erosion control features required during construction shall be constructed by the Contracto and the cost thereof included in the Contract Sum as a regular obligation incidental to the work
- c. Contractor to sod three feet behind all curbs within the entire project as part of construction cost.
- d. The Contractor is to submit an erosion control plan to the City of Apopka Engineer for approval prior to the preconstruction meeting for this project.
- 28. Miscellaneous Engineer Notifications
- a. The Contractor shall keep DAILY "As-bullt" drawings employing the criteria shown on the Paving and Drainage sheet. Record all As-builts in waterproof RED lnk
- b. Before the start of construction, the Contractor shall prepare and submit to the Engineer a project construction schedule (Bar Graph) and update the schedule monthly
- c. Any fuel storage areas shall have owner's prior approval and appropriate measure shall be taken to ensure protection of groundwater and soil resources.
- d. The Contractor shall coordinate all backfill operations with the Resident Geotechnical Engineer and submit test reports to the Engineer prior to beginning work on the next item of work
- e. The Engineer reserves the right to require the Contractor to perform any action essary to ensure that the impr the plans and specifications.
- 29. Any discrepancy between the dimensions and measurements shown on the plans and the actual field conditions shall immediately be brought to the Engineer's attention. Fallure to do so shall make the Contractor completely liable for whatever errors and/or problems that may
- 30. It will be the responsibility of the Contractor(s) to ensure that all required permits are obtained and are in hand at the job site prior to the commencement of construction. Contractor shall abide by all conditions contained therein. Permits included (but not necessarily limited to) are:
- a. Local right-of-way use
- b. Local underground utilities.
- 31. The Contractor shall stake all improvements using the plat. Contractor shall confirm with Geodata Consultants, Inc. Surveying and Mapping (Phone 407-660-2322) that the plat is current prior to construction. It is the sole responsibility of the contractor to completely stake and check nts to ensure adequate positioning, both horizontal and vertical, including minimum building setbacks, before the installation of any improvement

- 32. The Contractor shall be responsible for protecting all existing survey monumentation Disturbed monumentation shall be restored by a Florida-licensed land surveyor selected by the Owner at the Contractor's expense.
- 33. The Contractor is responsible for grading all pavement areas to drain positively. Intersections shall be transitioned to provide smooth driving surfaces while maintaining positive drainage. Should areas of poor drainage be observed, the Contractor shall notify the Engineer prior to paying so that recommendations for correction may be made
- 34. The quantities and lengths of materials shown on plans should be verified by the Contractor. Any discrepancy between callouts and actual shown in plan view is to be brought to the Engineer's attention by the Contractor prior to bidding. It is the Engineer's intention to build what is shown on the construction plans,
- 35. The Contractor is to maintain weekly monitoring reports per general conditions of N.P.D.E.S. General Permit
- 36. Record Drawing: At the end of construction, the Contractor shall provide one (1) set of drawings showing ALL CHANGES marked in waterproof red with the following Contractor Certification executed on EACH SHEET:

The Contractor hereby certifies to the OWNER that improvements covered by this drawing and the related details have been constructed as indicated or as modified by the notes and graphics shown. Absent a note or graphic to the contrary, the improvements have been constructed meeting industry standard tolerances Authorized Contractor's Representative

- 37. EMERGENCY WASTEWATER SPILL AND WATERMAIN BREAK PROCEDURES a1. Excavate Cautiously

The contractor shall exercise extreme caution when excavating in proximity of wastewater force mains and gravity sewers. Force main and sewer locations shown on plans are not exact or guaranteed. Contractor is responsible for field verifying existing utility locations.

a2. Telephone Notification

The City of Apopka dispatch operator shall be notified immediately in the event of a force main. gravity sewer or water main break or damage at 407-703-1757.

All damage to City of Apopka's mains shall be repaired immediately by the contractor at the contractor's expense. If the repair is not made in a timely manner, as determined by the City of Apopka utilities inspector, City of Apopka may perform repairs and the contractor will

- a4. City of Apopka Public Services General Telephone Number: 407-703-1731
- a5. Advance Notification of Pending Connection
- The City of Apopka Public Services department (407-703-1731) shall be notified at least seven
- a6. Advance Notification of Pending Connection
- The City of Apopka Public Services department (407-703-1731) shall be notified at least (7) days in advance to schedule main tie-ins and valve operations.
- a7. Operation of City of Apopka Valves

Water, wastewater, and reuse valves are to be operated only by a City of Apopka utilities inspector (407-703-1731). All valves being installed are to remain closed during construction

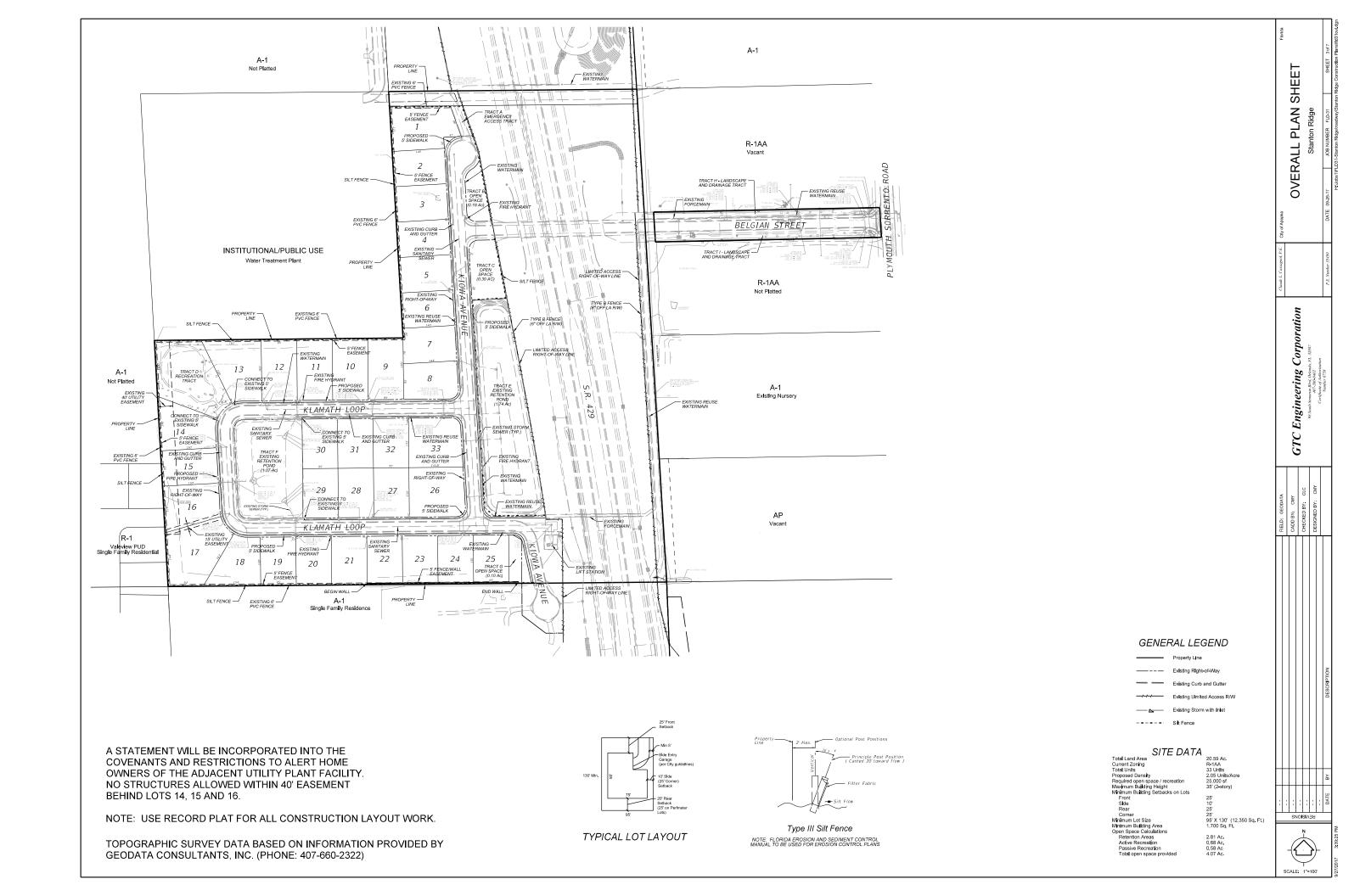
a8. Operation of City of Apopka Pump Stations

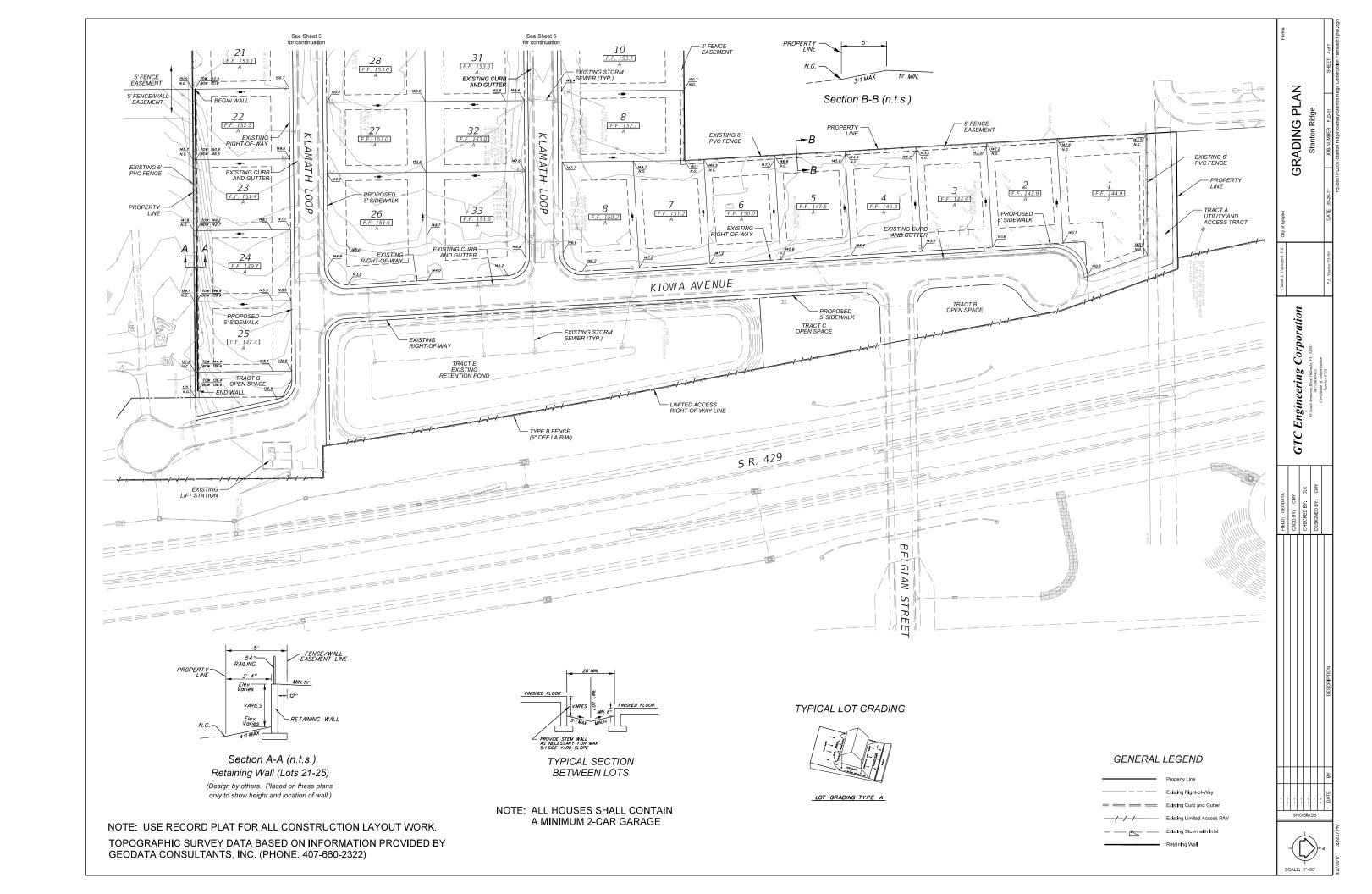
The contractor shall coordinate all pump station operation and shut down control with a City of Apopka utilities inspector (407-703-1731).

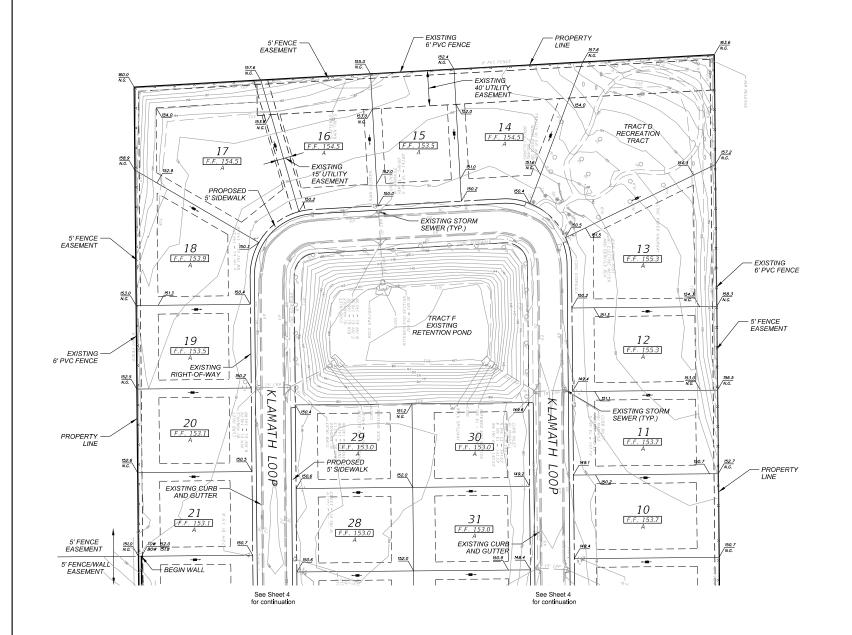
	l	200			
JOB NUMBER FLD-31	DATE 09-26-17	P.E. Number 35490	Number 6758		
			Certificate of Authorization		
Stanton Kidge			yo south semonth Biva, Orlando, FL 52017 407-380-0402	DESIGNED BY: CMY	
				CHECKED BY: CLC	
	,		- OIC Engineering Corporation		
	<u>.</u>		CTO Fusing Commention	CADD BY: CMY	
	City of Apopka	Claude L. Cassagnol, P.E. City of Apopka		FIELD: GEODATA	

S

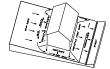
			OIC Engineeri	0.7 0.00	96 South Semonth Div	Certificate of	Numb						
FIFI D: GEODATA		CADD BY: CMY		CHECKED BY: CLC	DESIGNED BY: CMY								
							DESCRIPTION						
							BY						
:	1	:	:	:		1	DATE						
		SI	10	SΙΛ	ВЕ								
	_						SNOSIASE						



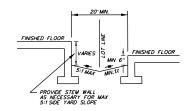




TYPICAL LOT GRADING



LOT GRADING TYPE A



TYPICAL SECTION BETWEEN LOTS

NOTE: ALL HOUSES SHALL CONTAIN A MINIMUM 2-CAR GARAGE

GENERAL LEGEND

Property Line

Existing Right-of-W

Existing Curb and (

— Existing Storm with Inlet

- ( - z

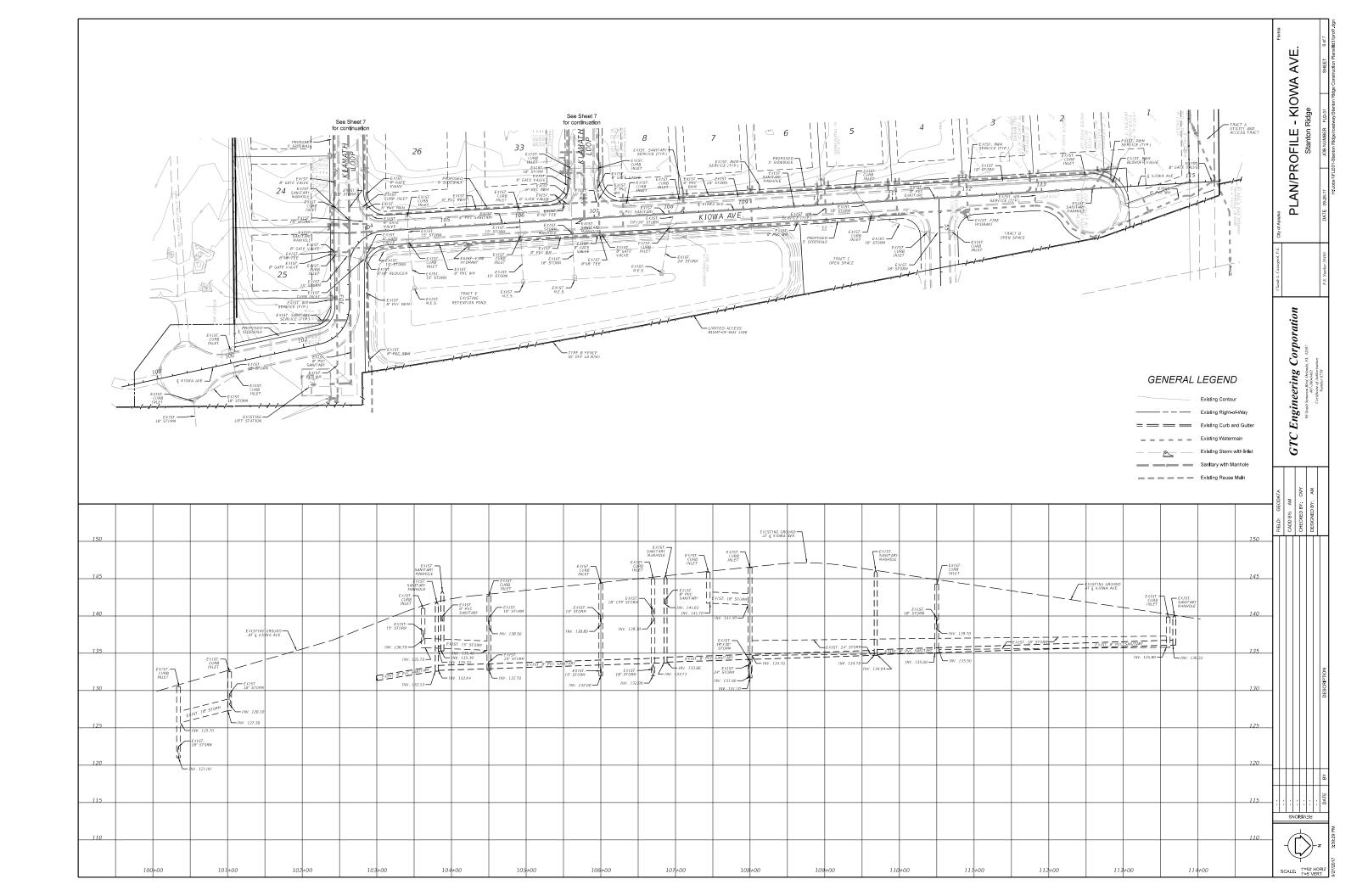
REVISIONS

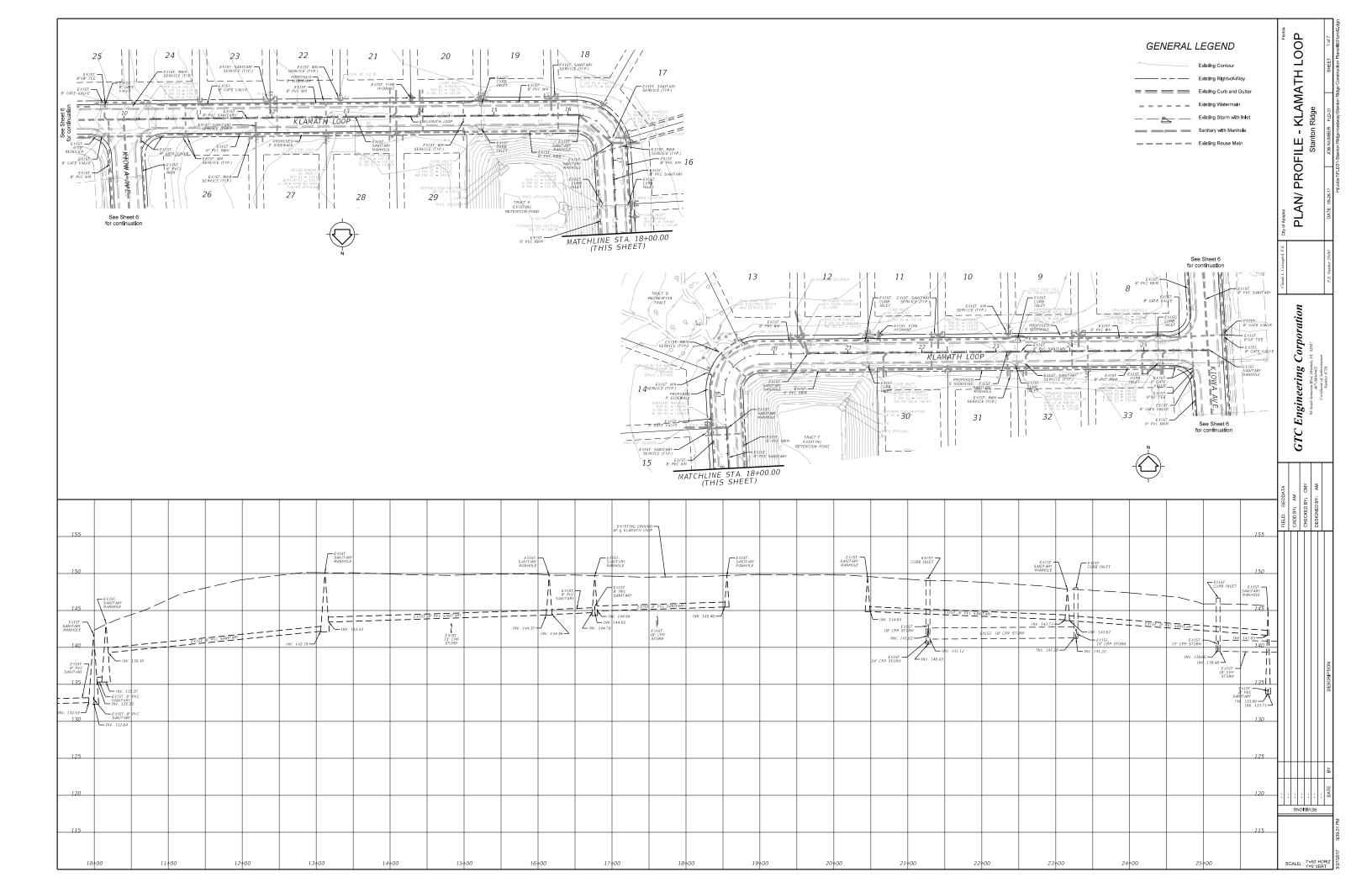
**GRADING PLAN** 

GTC Engineering Corporation

NOTE: USE RECORD PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

TOPOGRAPHIC SURVEY DATA BASED ON INFORMATION PROVIDED BY
GEODATA CONSULTANTS, INC. (PHONE: 407-660-2322)





# **STANTON RIDGE**

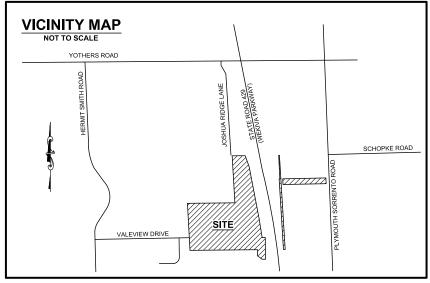
A REPLAT OF A PORTION OF LOT 11, BLOCK "O" MAP OF PLYMOUTH (PLAT BOOK "B", PAGES 17 & 18) LOCATED IN SECTION 31, TOWNSHIP 20 SOUTH, RANGE 28 EAST AND A PORTION OF SECTION 36, TOWNSHIP 20 SOUTH, RANGE 27 EAST CITY OF APOPKA, ORANGE COUNTY, FLORIDA

### **LEGAL DESCRIPTION**

ALL THAT TRACT OR PARCEL OF LAND LYING IN A PORTION OF SECTION 36, TOWNSHIP 20 SOUTH, RANGE 27 EAST, CITY OF APOPKA, ORANGE COUNTY, FLORIDA; AND A PARCEL OF LAND LYING IN SECTION 31, TOWNSHIP 20 SOUTH, RANGE 28 EAST, AND BEING A PORTION OF LOT 11, BLOCK "O", MAP OF PLYMOUTH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK "B", PAGE 17 & 18, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA: BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 20 SOUTH, RANGE 27 EAST; THENCE S 89°28'38" W ALONG THE SOUTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 36, A DISTANCE OF 278,71' TO A POINT ON THE WESTERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF STATE ROAD 429 (WEKIVA PARKWAY), AND THE POINT OF BEGINNING; THENCE S 00°27'48" E ALONG SAID LIMITED ACCESS RIGHT-OF-WAY LINE, A DISTANCE OF 134.32" W A DISTANCE OF 85.41" TO A POINT; THENCE DEPARTING SAID LIMITED ACCESS RIGHT-OF-WAY LINE, S 89°3159" W A DISTANCE OF 134.32" W A DISTANCE OF 88°28'38" W ALONG SAID SOUTH LINE, A DISTANCE OF 79.53" TO A POINT; THENCE N 50°31'22" W A DISTANCE OF 85.41" TO A POINT ON THE SOUTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 36; THENCE N 50°28'38" W ALONG SAID SOUTH LINE, A DISTANCE OF 947.47 FEET TO THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 36; THENCE N 03°11'27" W ALONG THE WEST LINE OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 36. A DISTANCE OF 660.56' TO THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/5 OF THE SAID SECTION 36; THENCE N 89"26"15" E ALONG THE SOUTH LINE OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHE 89°26′22′ E ALONG THE NORTH LINE OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 36, A DISTANCE OF 168.65′ TO A POINT ON SAID LIMITED ACCESS RIGHT-OF-WAY LINE, THENCE CONTINUE N 89°26′22″ E ALONG SAID NORTH LINE AND ALONG SAID LIMITED ACCESS RIGHT-OF-WAY LINE, A DISTANCE OF 15.06 FEET TO A POINT; THENCE S 10°53′26″ E A DISTANCE OF 488.82′ TO A POINT OF A NON-TANGENT CURVE; THENCE 519.51′ ALONG THE ARC OF A CURVE CONCAVE TO THE WEST, HAVING A DELTA ANGLE OF 2°38'07" A RADIUS OF 11 295 20' A CHORD BEARING S 09°56'57" F. AND A CHORD OF 519 46' TO A POINT. THENCE N 89°07'33" F. A DISTANCE OF 43 20' TO A POINT. THENCE S 00°27'48" F. A DISTANCE OF 170.77 TO THE POINT OF BEGINNING, THE LAST FIVE COURSES BEING COINCIDENT WITH SAID LIMITED ACCESS RIGHT-OF-WAY LINE. CONTAINING 19.44 ACRES MORE OR LESS

COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 20 SOUTH, RANGE 27 EAST; THENCE N 03°29'20" W ALONG THE EAST LINE OF THE NORTHEAST 1/4 OF SAID SECTION 36, A DISTANCE OF 912.27" TO A POINT; THENCE N 88'50'37" E A DISTANCE OF 25.02" TO A POINT ON THE EAST LINE OF A 25 FOOT WIDE UNNAMED PUBLIC RIGHT-OF-WAY, AND THE WEST LINE OF LOT 11, BLOCK "O", MAP OF PLYMOUTH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK "B", PAGE 17 & 18 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, AND THE POINT OF BEGINNING; THENCE N 03/29/20° W ALONG SAID WEST LINE, A DISTANCE OF 80.06° TO THE NORTHWEST CORNER OF SAID LOT 11, THENCE N 88*50/37° E ALONG THE NORTH LINE OF SAID LOT 11, A DISTANCE OF 605.51' FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF PLYMOUTH SORRENTO ROAD; THENCE S 03°29/31° E ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 80.06' TO A POINT; THENCE S 88*50'37" W ALONG A LINE 80 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF SAID LOT 11, A DISTANCE OF 605.51' TO THE POINT OF BEGINNING. CONTAINING 1.11 ACRES MORE OR LESS.



# **KEY MAP** SHEET 3 OF 3 NOT TO SCALE BELGIAN STREET 6 15 KLAMATH LOOP SHEET 2 OF 3

GEODATA CONSULTANTS, INC. SURVEYING & MAPPING
1349 S. INTERNATIONAL PARKWAY
SUITE 2401
LAKE MARY, FLORIDA 32746 VOICE: (407) 732-6965 FAX: (407) 878-084 Land Surveyor Business License No. 6556

NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BY SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

### **GENERAL NOTES**

1. THE BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH LINE OF THE NORTHEAST ONE QUARTER OF SECTION 36, TOWNSHIP 20 SOUTH, RANGE 28 EAST, BEING SOUTH 89°28'38" WEST, AND ARE RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983,2007 ADJUSTMENT (NAD83/07), ZONE 901, FLORIDA EAST.

2. ALL UTILITY EASEMENTS SHOWN HEREON SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE UTILITY SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY, IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL IS SO LET YE PEOPONSHIE FOR THE PAMAGES. IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES

3, AN EASEMENT FOR EMERGENCY INGRESS AND EGRESS ACROSS TRACT "A" IS HEREBY DEDICATED TO THE CITY OF APOPKA.

4. APPROVAL OF THIS PLAT SHALL NOT BE DEEMED TO PROVIDE ANY VESTED RIGHTS, EXCEPT AS TO THOSE MATTERS DEPICTED HEREON, THAT ARE CONSISTENT WITH THE REQUIREMENTS OF CHAPTER 177. FLORIDA STATUTES. OR WERE REQUIRED BY THE CITY OF APOPKA AS A CONDITION OF PLATTING.

5. THE LIFT STATION TRACT IS OWNED IN FEE SIMPLE BY THE CITY OF APOPKA AND MAY BE UTILIZED FOR LIFT STATION PURPOSES AS LONG AS DEEMED NECESSARY BY THE CITY.

6. ACCESS & UTILITY TRACT, OPEN SPACE TRACT, AND ALL DRAINAGE TRACTS ARE TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

7. THERE IS A DRAINAGE AND UTILITY EASEMENT DESCRIBED AS FOLLOWS: 10 FEET IN FRONT OF ALL LOTS, UNLESS OTHERWISE SHOWN
5 FEET ALONG THE SIDES OF ALL LOTS, UNLESS OTHERWISE SHOWN
7.5 FEET ALONG THE REAR OF ALL LOTS, UNLESS OTHERWISE SHOWN THERE IS A BLANKET INGRESS AND EGRESS EASEMENT ACROSS

DRAINAGE TRACTS DEDICATED TO THE CITY OF APOPKA FOR MAINTENANCE OF THE STORMWATER PIPES AND STRUCTURES. 9. MAINTENANCE OF DRAINAGE STRUCTURES WITHIN THE DRAINAGE TRACTS

SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION

10. ALL LINES ARE RADIAL UNLESS SHOWN AS NON-RADIAL (NR)

11. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ORANGE COUNTY.

12. AN ACCESS EASEMENT ACROSS TRACTS "H" AND "I" IS HEREBY DEDICATED TO THE CITY OF APOPKA IN ORDER TO ALLOW THE CITY TO CONNECT BELGIAN STREET TO FUTURE DEVELOPMENT NORTH OF TRACT "H" AND SOUTH OF

13. MAINTENANCE OF TRACTS "H" AND "I" SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION UNTIL SUCH TIME AS THE CITY OF APOPKA APPROVES DEVELOPMENT OF THE ADJACENT PROPERTY TO THE NORTH OR SOUTH AT WHICH TIME THE CITY SHALL REQUIRE, AS A CONDITION OF APPROVAL. THAT THE OWNER THEREOF TAKE OVER MAINTENANCE OF THE RESPECTIVE TRACT ADJACENT TO HIS OR HER PROPERTY

14 CEX RESERVES ALL RIGHTS OF INGRESS EGRESS LIGHT AIR AND VIEW 14. OF A RESERVES ALL RIGHTS OF INGRESS, EURESS, LIGHT, AIR, AIND VIE.
TO, FROM OR ACROSS, ANY STATE ROAD 429 RIGHT-OF-WAY PROPERTY WHICE
MAY OTHERWISE ACCRUE TO ANY PROPERTY ADJOINING SAID RIGHT-OF-WAY.

JOINDER AND CONSENT TO DEDICATION BY THE CITY OF APOPKA KNOW ALL BY THESE PRESENTS, THAT THE CITY OF APOPKA, A MUNICIPAL CORPORATION EXISTING UNDER THE LAWS OF THE STATE OF FLORIDA, BEING THE OWNER IN FEE SIMPLE OF A PORTION OF THE LANDS DESCRIBED IN THE FOREGOING CAPTION TO THIS PLAT, HEREBY DEDICATES SAID LANDS AND PLAT FOR THE USES AND PURPOSES THEREIN EXPRESSED AND DEDICATES THE STREETS AND EASEMENTS AS SHOWN HEREON TO THE PERPETUAL USE OF THE PUBLIC.
IN WITNESS THEREOF, HAS CAUSED THESE PRESENTS TO BE SIGNED AND ATTESTED TO BY THE OFFICERS NAMED BELOW ON, 2017.
THE CITY OF APOPKA, A MUNICIPAL CORPORATION EXISTING UNDER THE LAWS OF THE STATE OF FLORIDA.
BY: SIGNATURE
PRINTED NAME:
TITLE:
SIGNED, SEALED AND DELIVERED IN THE PRESENCE OF:
BY: WITNESS SIGNATURE
BY: WITNESS SIGNATURE
STATE OF FLORIDA COUNTY OF ORANGE
THIS IS TO CERTIFY, THAT ON
INCORPORATED UNDER THE LAWS OF FLORIDA WHO ISJARE PERSONALLY KNOWN TO ME OR HAVE PRODUCED THE FOLLOWING IDENTIFICATION AND AND RESPECTIVELY AND WHO EXECUTED THE FOREGOING DEDICATION AND SEVERALLY

	IN WITNESS THEREOF, HAS CAUSED THESE PRESENTS TO BE SIGNED AND ATTESTED TO BY THE OFFICERS NAMED BELOW ON, 2017.
	CENTRAL FLORIDA EXPRESSWAY AUTHORITY, A BODY POLITIC AND CORPORATE AND AGENCY OF THE STATE OF FLORIDA.
	BY:
	PRINTED NAME:
	ТПТ.Е:
Ä S	SIGNED, SEALED AND DELIVERED IN THE PRESENCE OF:
GE LAY RAWA RAWA	BY:
IOSHUA RIDGE LANE STATE ROAD 429 (WEKNA PARKWAY)	BY: WITNESS SIGNATURE
SCHOPKE ROAD	STATE OF FLORIDA COUNTY OF ORANGE
RHEINTO ROAD	THIS IS TO CERTIFY, THAT ON
SITE SORRENTO	PRODUCED THE FOLLOWING IDENTIFICATION WHO EXECUTED THE FOREGOING DEDICATION AND ACKNOWLEDGED THE EXECUTION THEREOF ON BEHALF OF THE CENTRAL FLORIDA EXPRESSWAY AUTHORITY AND THAT THEY WERE DULY AUTHORIZED TO EXECUTE THE SAME.
Z	IN WITNESS WHEREOF, I HAVE HERETO SET MY HAND AND SEAL ON THE ABOVE DATE.
1	NOTARY PUBLIC
	MY COMMISSION EXPIRES
	CERTIFICATE OF APPROVAL BY
	APOPKA LAND DEVELOPMENT REVIEW BOARD
	THIS IS TO CERTIFY, THAT ON, 2017, THE APOPKA LAND DEVELOPMENT REVIEW BOARD APPROVED THE FOREGOING.
JOINDER AND CONSENT TO DEDICATION BY THE CITY OF APOPKA	CHAIRMAN:
KNOW ALL BY THESE PRESENTS, THAT THE CITY OF APOPKA, A MUNICIPAL CORPORATION EXISTING UNDER THE LAWS OF THE STATE OF FLORIDA, BEING THE OWNER IN FEE SIMPLE OF A PORTION OF THE LANDS DESCRIBED IN THE	CERTIFICATE OF REVIEW BY CITY SURVEYOR
FOREGOING CAPTION TO THIS PLAT, HEREBY DEDICATES SAID LANDS AND PLAT FOR THE USES AND PURPOSES THEREIN EXPRESSED AND DEDICATES THE	REVIEWED FOR CONFORMITY TO FLORIDA STATE STATUTE 177.
STREETS AND EASEMENTS AS SHOWN HEREON TO THE PERPETUAL USE OF THE PUBLIC.	CITY SURVEYOR: DATE:
IN WITNESS THEREOF, HAS CAUSED THESE PRESENTS TO BE SIGNED AND ATTESTED TO BY THE OFFICERS NAMED BELOW ON, 2017.	CERTIFICATE OF REVIEW BY CITY ENGINEER
THE CITY OF APOPKA, A MUNICIPAL CORPORATION EXISTING UNDER THE LAWS OF THE STATE OF FLORIDA.	EXAMINED AND APPROVED:
BY: SIGNATURE	CITY ENGINEER:
PRINTED NAME:	QUALIFICATION STATEMENT OF SURVEYOR AND MAPPER
·	SURVETOR AND MAPPER KNOW ALL BY THESE PRESENTS, THAT THE UNDERSIGNED, BEING A
TITLE: SIGNED, SEALED AND DELIVERED IN THE PRESENCE OF:	PROFESSIONAL SURVEYOR AND MAPPER THAT HAS PREPARED AND FOREGOING PLAT AND WAS MADE UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT COMPLIES WITH ALL OF THE SURVEY REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES; AND THAT SAID LAND IS LOCATED IN THE CITY OF APOPKA,
BY:	ORANGE COUNTY, FLORIDA.
WITNESS SIGNATURE	DATED:, 2017 SIGNED: H. PAUL deVIVERO
WITNESS SIGNATURE  BY:	DATED:, 2017 SIGNED: H. PAUL deVIVERO REGISTRATION NUMBER: LS 4990
WITNESS SIGNATURE	DATED:, 2017 SIGNED: H. PAUL deVIVERO
WITNESS SIGNATURE  BY:	DATED:, 2017 SIGNED:
WITNESS SIGNATURE  BY: WITNESS SIGNATURE  STATE OF FLORIDA COUNTY OF ORANGE  THIS IS TO CERTIFY, THAT ON, 2017 BEFORE ME, AN OFFICER DULY AUTHORIZED TO TAKE ACKNOWLEDGEMENTS IN THE STATE AND COUNTY AFORESAID, PERSONALLY APPEARED AND RESPECTIVELY AND	DATED:, 2017 SIGNED:
WITNESS SIGNATURE  BY: WITNESS SIGNATURE  STATE OF FLORIDA COUNTY OF ORANGE  THIS IS TO CERTIFY. THAT ON OFFICER DULY AUTHORIZED TO TAKE ACKNOWLEDGEMENTS IN THE STATE AND COUNTY AFORESAID, PERSONALLY APPEARED RESPECTIVELY AND OF THE ABOVE NAMED CORPORATION INCORPORATED UNDER THE LAWS OF FLORIDA WHO IS/ARE PERSONALLY KNOWN TO ME OR HAVE PRODUCED THE FOLLOWING IDENTIFICATION AND RESPECTIVELY AND	DATED:, 2017 SIGNED:
WITNESS SIGNATURE  BY: WITNESS SIGNATURE  STATE OF FLORIDA COUNTY OF ORANGE  THIS IS TO CERTIFY, THAT ON OFFICER DULY AUTHORIZED TO TAKE ACKNOWLEDGEMENTS IN THE STATE AND COUNTY AFORESAID, PESONALLY APPEARED AND RESPECTIVELY AND OF THE ABOVE NAMED CORPORATION INCORPORATED UNDER THE LAWS OF FLORIDA WHO ISJARE PERSONALLY KNOWN TO ME OR HAVE PRODUCED THE FOLLOWING IDENTIFICATION	DATED:, 2017 SIGNED:
WITNESS SIGNATURE  BY: WITNESS SIGNATURE  STATE OF FLORIDA COUNTY OF ORANGE  THIS IS TO CERTIFY. THAT ON, 2017 BEFORE ME, AN OFFICER DULY AUTHORIZED TO TAKE ACKNOWLEDGEMENTS IN THE STATE AND COUNTY AFORESAID, PERSONALLY APPEARED AND OF THE ABOVE NAMED CORPORATION INCORPORATED UNDER THE LAWS OF FLORIDA WHO ISJARE PERSONALLY KNOWN TO ME OR HAVE PRODUCED THE FOLLOWING IDENTIFICATION WHO EXECUTED THE FOREGOING DEDICATION AND SEVERALLY ACKNOWLEDGED THE EXECUTION THEREOF TO BE THEIR FREE ACT AND DEED AS SUCH OFFICERS THERETO DULY AUTHORIZED AND THAT SAID DEDICATION IS	DATED:
WITNESS SIGNATURE  BY: WITNESS SIGNATURE  STATE OF FLORIDA COUNTY OF ORANGE  THIS IS TO CERTIFY, THAT ON OFFICER DULY AUTHORIZED TO TAKE ACKNOWLEDGEMENTS IN THE STATE AND COUNTY AFORESAID, PERSONALLY APPEARED  OF THE ABOVE NAMED CORPORATION INCORPORATED UNDER THE LAWS OF FLORIDA WHO ISJARE PERSONALLY KNOWN TO ME OR HAVE PRODUCED THE FOLLOWING IDENTIFICATION AND WHO EXECUTED THE FOREGOING DEDICATION AND SEVERALLY ACKNOWLEDGED THE EXECUTION THEREOF TO BE THEIR FRAE ACT AND DEED AS SUCH OFFICERS THERETO DULY AUTHORIZED AND THAT SAID DEDICATION IS THE ACT AND DEED OF SAID CORPORATION.  IN WITNESS WHEREOF, I HAVE HERETO SET MY HAND AND SEAL ON THE ABOVE	DATED:, 2017 SIGNED:

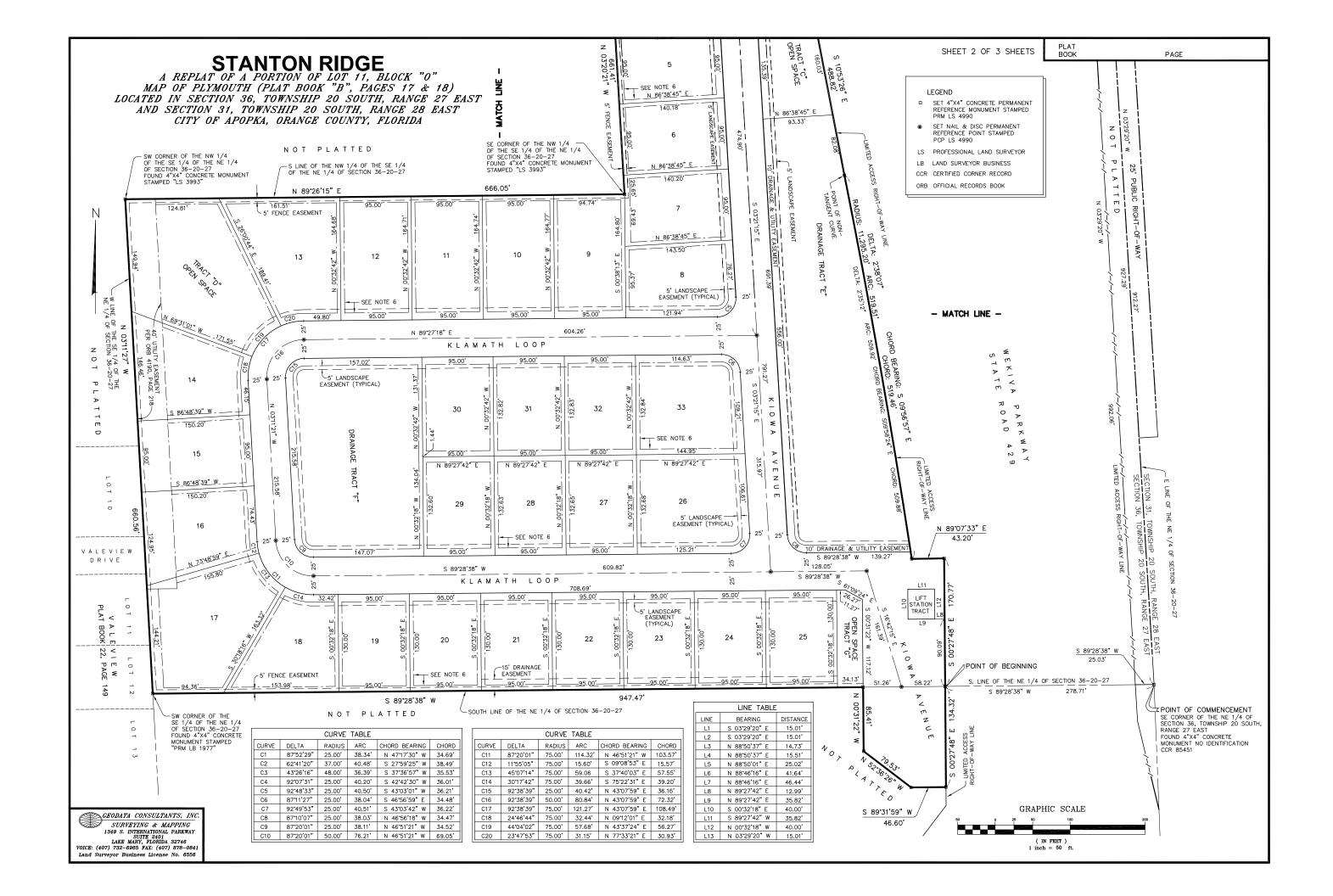
PAGE

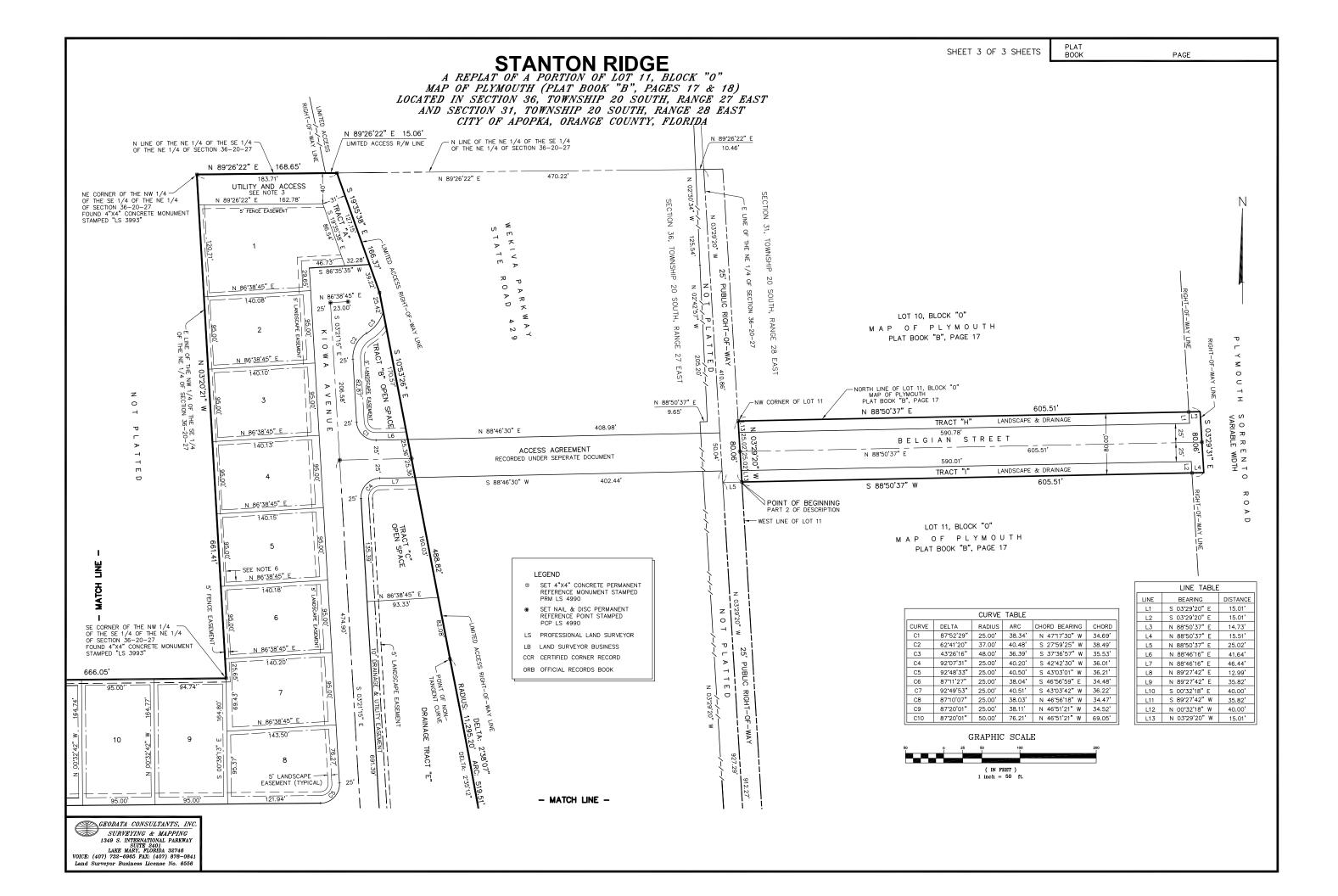
STANTON RIDGE A REPLAT

DEDICATION

KNOW ALL BY THESE PRESENTS, THAT CENTRAL FLORIDA EXPRESSWAY AUTHORITY, A BODY POLITIC AND CORPORATE AND AGENCY OF THE STATE OF FLORIDA, BEING THE OWNER IN FEE SIMPLE OF THE LANDS DESCRIBED IN THE FOREGOING CAPTION TO THIS PLAT, HEREBY DEDICATES SAID LANDS AND PLAT FOR THE USES AND PURPOSES THEREIN EXPRESSED AND DEDICATES THE

TREETS AND EASEMENTS AS SHOWN HEREON TO THE PERPETUAL USE OF THE







# CITY OF APOPKA PLANNING COMMISSION

X PUBLIC HEARING

SITE PLAN

SPECIAL REPORTS

X OTHER: Final Development Plan

MEETING OF: June 12, 2018

FROM: Community Development

EXHIBITS: Vicinity Map Aerial Map

FDP Site/Landscape Plans

Parking Analysis Building Elevations

SUBJECT: FINAL DEVELOPMENT PLAN – WEKIVA RIVERWALK SHOPPING

**CENTER** 

REQUEST: RECOMMEND APPROVAL OF THE FINAL DEVELOPMENT PLAN FOR

THE WEKIVA RIVERWALK SHOPPING CENTER, GROCERY STORE

**ADDITION** 

**SUMMARY** 

OWNER/APPLICANT: Woolbright Wekiva, LLC.

ENGINEER: Sun-Tech Engineering, Inc., Clifford R. Loutan, P.E.

LOCATION: 2121 East Semoran Boulevard

PARCEL ID #: 12-21-28-9093-00-010

FUTURE LAND USE: Commercial

ZONING: C-1

EXISTING USE: Retail Shopping Plaza

PROPOSED USE: Grocery Store

TRACT SIZE: 24.74 +/- acres

**OVERALL** 

DEVELOPMENT SIZE: 28,600 square feet

BUILDING SIZE: 28,600 square feet

**DISTRIBUTION** 

Mayor Nelson Finance Director Public Services Director Commissioners HR Director Recreation Director

City Administrator IT Director City Clerk
Community Development Director Police Chief Fire Chief

### RELATIONSHIP TO ADJACENT PROPERTIES:

Direction	Future Land Use	Zoning	Present Use
North (County)	Office	R-1	Single Family Residential
East (City, County)	Office (City) Low Density Residential (County)	PO/I (City) P-D, R-1 (County)	Wekiwa Springs Road\Single Family Residential, Assisted Living Facility
South (City)	Commercial	C-1	Semoran Blvd.\Retail Shopping Plaza
West (County)	Low Density Residential	R-1	Single Family Residential

ADDITIONAL COMMENTS: The Wekiva Riverwalk Shopping Center Final Development Plan proposes a 28,600 square foot grocery store in the northeastern corner of the existing Wekiva Riverwalk shopping center building. Currently located in this tenant space is a restaurant and retail space. The Final Development Plan details an 8,500 square foot addition to the portion of the existing building where the grocery store is proposed. The addition will be constructed in an area that is currently used for parking and a drive aisle. The drive aisle leads into a driveway opening that currently allows access into the shopping center from Wekiwa Springs Road. The Final Development Plan proposes relocation of the driveway opening 90-feet to the south along Wekiva Springs Road to accommodate the proposed building addition. Wekiwa Springs Road is an Orange County maintained road. Orange County has provided correspondence to the City indicating approval of the relocation of the driveway opening 90-feet to the south along Wekiwa Springs Road, and will issue a permit for the driveway relocation upon the City of Apopka's approval of the Final Development Plan.

**PARKING:** The Final Development Plan provides a demolition plan which proposes the removal of 52 parking spaces to all for the 8,500 square foot building addition. Upon removal of the existing parking spaces to allow for the building addition, a total of 1,237 parking spaces will be provided in the Wekiva Riverwalk shopping center. This is a sufficient amount of parking to accommodate the proposed grocery store and the existing uses located in the shopping center. The applicant has submitted a parking statement prepared by a professional engineer which concludes there will be a sufficient amount of parking provided in the shopping center with the removal of the parking spaces that will accommodate the building addition. Staff has accepted and is in agreement with this parking statement.

**ACCESS:** Access to the site will be provided via a relocated driveway opening located 90-feet to the south along Wekiwa Springs Road, and existing driveway openings located along Semoran Boulevard. Wekiwa Springs Road is an Orange County maintained road. Orange County has provided correspondence to the City indicating approval of the relocation of the driveway opening 90-feet to the south along Wekiwa Springs Road.

**EXTERIOR ELEVATIONS:** Staff has found the proposed building elevations to be designed in accordance with the City's Development Design Guidelines.

**STORMWATER:** Stormwater run-off and drainage is accommodated by an existing on-site stormwater drainage system.

**BUFFER/TREE PROGRAM:** The applicant has provided a detailed landscape and irrigation plan for the portion of the parking lot in front of the proposed grocery store. The planting materials and irrigation system design are consistent with the water-efficient landscape standards set forth in Ordinance No. 2069.

### PLANNING COMMISSION – JUNE 12, 2018 WEKIVA RIVERWALK – FINAL DEVELOPMENT PLAN PAGE 3

### **PUBLIC HEARING SCHEDULE:**

June 12, 2018 - Planning Commission (5:30 pm) June 20, 2018 - City Council (7:00 pm)

### **RECOMMENDATION ACTION:**

The **Development Review Committee** recommends the approval of the Wekiva Riverwalk Shopping Center Final Development Plan.

**Planning Commission Recommendation:** The role of the Planning Commission for this development application is to advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code.

**Recommended Motion:** Find the Wekiva Riverwalk Shopping Center Final Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Wekiva Riverwalk Shopping Center Final Development Plan, subject to the findings of this staff report for the property owned by Woolbright Wekiva, LLC and located at 2121 East Semoran Boulevard.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

### PLANNING COMMISSION – JUNE 12, 2018 WEKIVA RIVERWALK – FINAL DEVELOPMENT PLAN PAGE 4

Application: Final Development Plan Owner/Applicant: Woolbright Wekiva, LLC

Engineer: Sun-Tech Engineering, Inc., c/o Clifford R. Loutan, P.E.

Parcel I.D. No: 12-21-28-9093-00-010

**Location:** 2121 East Semoran Boulevard

Acres: 4.19 +/-



## **VICINITY MAP**



### PLANNING COMMISSION – JUNE 12, 2018 WEKIVA RIVERWALK – FINAL DEVELOPMENT PLAN PAGE 5

Application: Final Development Plan Owner/Applicant: Woolbright Wekiva, LLC

Engineer: Sun-Tech Engineering, Inc., c/o Clifford R. Loutan, P.E.

Parcel I.D. No: 12-21-28-9093-00-010

**Location:** 2121 East Semoran Boulevard

Acres: 4.19 +/-



## **AERIAL MAP**



# WEKIVA RIVERWALK SHOPPING CENTER

City of Apopka, Orange County, Florida FINAL DEVELOPMENT PLANS



### OWNER:

WOOLBRIGHT WEKIVA, LLC 3200 N. MILITARY TRAIL, 4th FLOOR BOCA RATON, FLORIDA 33431 (561) 989-2241

### ARCHITECT:

ARCHITECTURE / PLANNING MARC WIENER, A.I.A. 851 SOUTH FEDERAL HWY., SUITE 203 BOCA RATON, FL 33432 (561) 750-4111

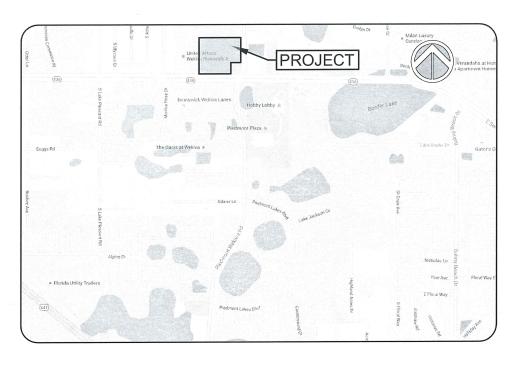
### **ENGINEER:**

SUN-TECH ENGINEERING, INC. 4577 NOB HILL ROAD SUITE 102 SUNRISE, FL. 33351 (954) 777-3123

ACCURIGHT SURVEYS OF ORLANDO, INC. 2012 E. ROBINSON STREET ORLANDO, FL 32803 (407) 894-6314

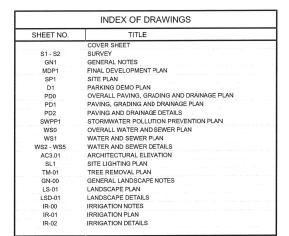
### LANDSCAPE ARCHITECT:

INNOVATIONS DESIGN GROUP, INC. 1200 HILLCREST STREET ORLANDO, FL 32803 (407) 440-3574



SECTION 12, TOWNSHIP 21 SOUTH, RANGE 28 EAST **LOCATION MAP** 





### LEGAL DESCRIPTION:

LOTS 1, 2, 4 AND 5, WEKIVA RIVER WALK REPLAT. ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 77, PAGES 26 AND 27, OF THE PUBLIC RECORDS OF GRANGE COUNTY-FLORIDA.

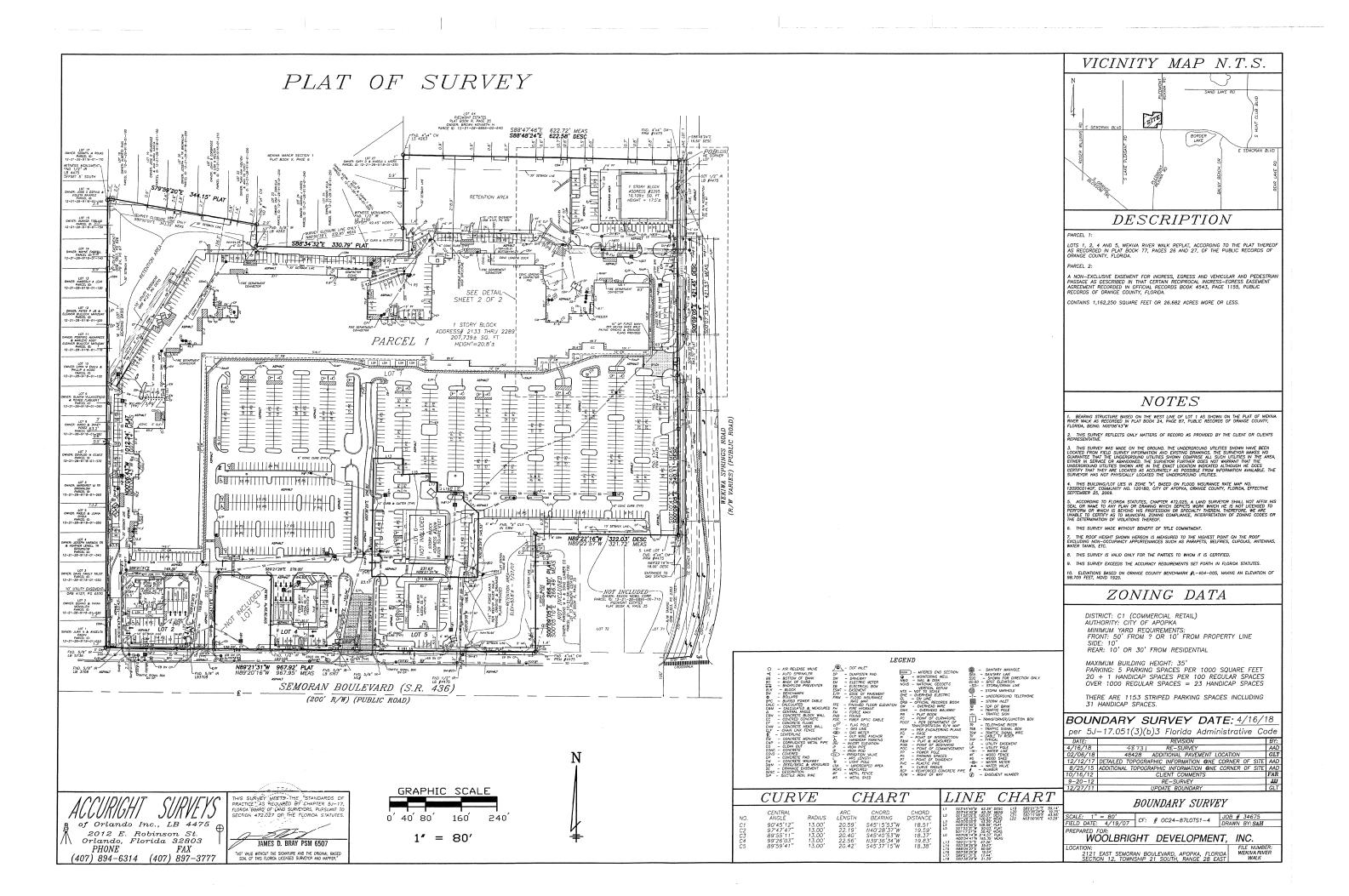


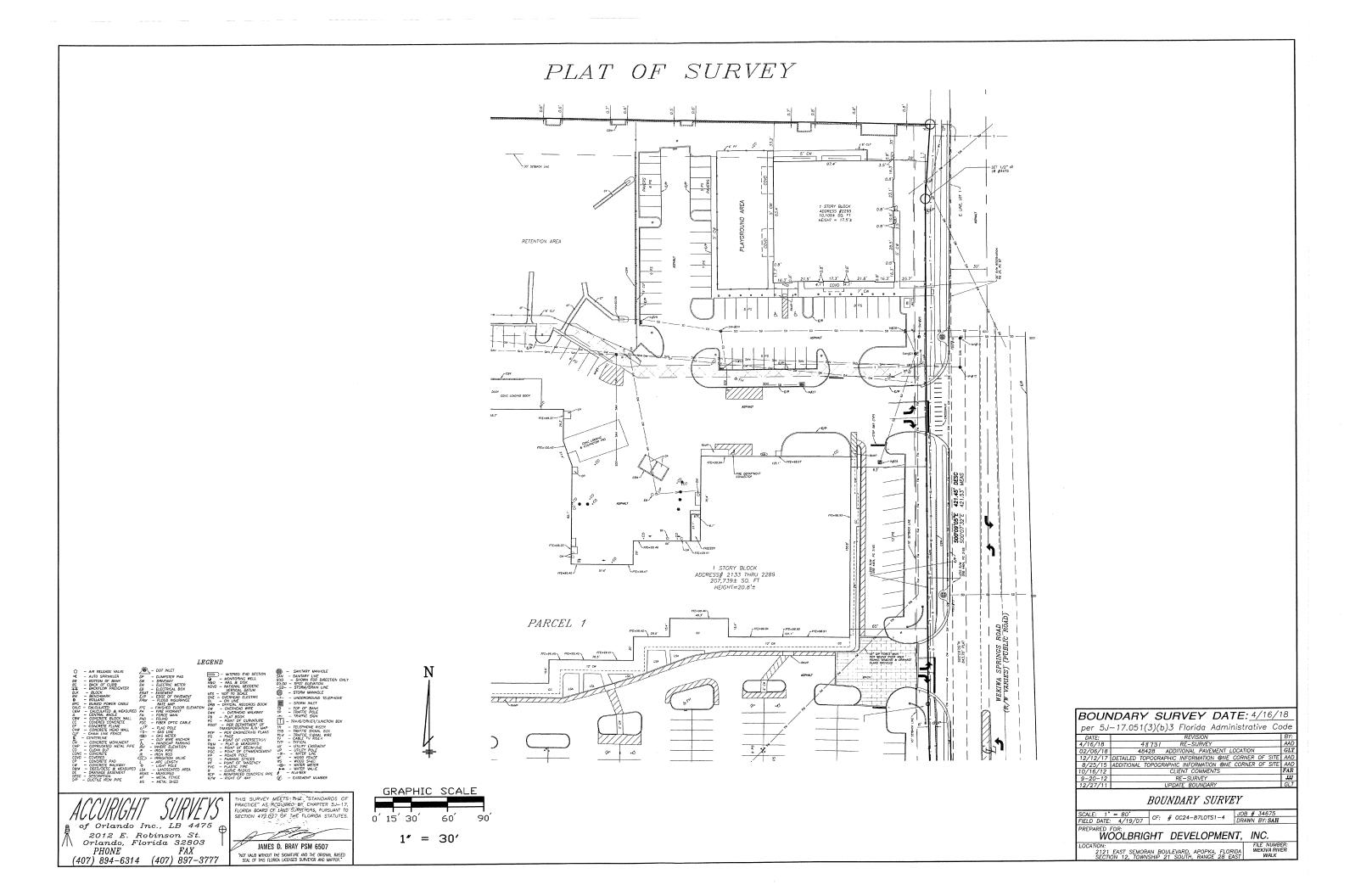


PROJECT NO. 17-3851 **DESIGN DATE: DEC 2017** 

Date: April 10, 2018

DRAWINGS MAY BE OUT OF SCALE DUE TO XEROX REPRODUCTION ERROR.





### INSPECTIONS:

THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD, CITY OF APOPKA AND ORANGE COUNTY UNLITES (O.C.U.) AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS:

THE INSPECTION OF THE FOLLOWING ITEMS:

1. CLEARING AND FILLING.
2. STORM DRAINAGE SYSTEM LAMPING.
3. SUBGRADE (PROCTORS AND DENSITY TESTS SHALL BE APPROVED PRIOR TO THE SUBMITTED SHALL SEE APPROVED PRIOR TO THE SUBMITTED WITH A CERTIFIED LETTER FROM THE ENGINEER OF RECORD INDICATING THEY CONFORM WITH THE APPROVED PLAN PRIOR TO THE PLACEMENT OF ASPHALT.
5. ASPHALTIC CONCRETE.

FINAL.THE CONTRACTOR SHALL CONTACT THE ABOVE AGENCIES FOR INSPECTIONS OF ALL UTILITIES:

ALL OTBURNES

A. WATER.

1. PRESSURE TESTING
2. PICGONG/FLUSHING
3. TIE-MS/DISINFECTION/SWABBING/WSUAL
B. WASTEWATHER TESTING/FLUSHING
2. SANTARY SEWER LAMPING
4. LIFT STATION START-UPS
C. ROADWAYS:
1. SUBGRADE INSPECTIONS
2. BASTEROCK INSPECTIONS
2. BASTEROCK INSPECTIONS
0. STOLLAMPING
2. STRUCTURE INSPECTIONS
2. STRUCTURE INSPECTIONS
5. WALK THROUGH:
4. WALK THROUGH:
5. WALK THROUGH:
5. WALK THROUGH:
5. WALK THROUGH:
6. WALK THROUGH:
6. WALK THROUGH:
6. WALK THROUGH:
6. THROUGH:
6. WALK THROU

### SANITARY SEWER:

UNILESS OTHERWISE NOTED OR APPROVED, ALL GRAVITY MAINS AND SERVICES SHALL BE UNPILASTICIZED POLYMINY, CHLORIDE (PVC) NOMPRESSURE PIPE CONFORMING TO ASTM D3034 AND SDR 35 WITH INTEGRAL WALL BELL AND SPICOT JOINTS FOR PUSH—ON RUBBER GASKET TYPE JOINT SEALS CONFORMING TO ASTM D1869.

PVC FITTINGS SHALL BE OF MONOLITHIC CONSTRUCTION OF THE TYPE SPECIFIED BY THE MANUFACTURER OF THE PIPE BEING USED. NO SOLVENT WELDS OR THREADED JOINTS WILL BE PERMITTED. ALL JOINTS SHALL BE COMPRESSION GASKET TYPE.

THE JOINING OF PIPE ON THE JOB SHALL BE DONE IN STRICT ACCORDANCE WITH THE PIPE MANUFACTURER'S INSTRUCTIONS AND SHALL BE DONE ENTIRELY IN THE TRENCH UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

INFLUENT AND EFFLUENT SEWERS SHALL BE GROUTED IN PLACE USING A TYPE II WATER-PROOF, EXPANDING GROUT ACCEPTABLE TO THE ENGINEER. ALL OPENINGS AND JOINTS SHALL BE SEALED WATERIGHT. REFER TO GENERAL NOTES FOR NON SHRING GROUT.

LIFT HOLES THROUGH PRECAST STRUCTURES ARE NOT PERMITTED.

A FLOW CHANNEL SHALL BE CONSTRUCTED TO DIRECT INFLUENT INTO FLOW STREAM, REFER TO DETAILS. OUTSIDE DROP CONNECTIONS WILL BE REQUIRED WHEN THE VERTICAL DISTANCE BETWEEN PIPE INVERTS EXCEEDS TWO FEET (2), DROP CONNECTIONS, WHERE REQUIRED, SHALL BE CAST MONOLITHICALLY WITH THE MANHOLE ELEMENTS AS SHOWN ON DETAILS.

THE LID AND FRAME SHALL BE CAST OF CLOSE—GROUND GREY IRON CONFORMING TO ASTM A—48, CLASS 30 AND SHALL BE OF UNIFORM QUALITY, FREE OF BLOW HOLES, POROSITY, GRACKS, AND OTHER OBWOUN SYSUAL DEFECTS. THE COMMINED WEIGHT OF THE FRAME AND LID SHALL NOT BE LESS THAN 420 POUNDS, THE STATING SUPPLET A MINIMUM OF 160 POUNDS. THE SEATING SURFACES BETWEEN FRAMES AND COVERS SHALL BE MACHINED TO FIT TRUE. NO PLUGGING OR FILLING WILL BE ALLOWED. CASTING PATTERNS SHALL CONFORM TO THOSE DESIGNATED BY O.C.

THE LID SHALL BE IN ACCORDANCE WITH FIGURE A304 OF ORANGE COUNTY UTILITIES STANDARD AND CONSTRUCTION SPECIFICATION MANUAL, SANITARY SEWER" CAST IN ALL MANHOLE COVERS, CASTINOS SHALL BE CLEANED AND COATED WITH A COAL TAR PITCH VARNISH WHICH IS TOUGH WHEN COLD BUT NOT TACKY OR BITTLE. PICK TYPE LIFTING HOLES WILL BE CAST INTO LIDS, BUT SHALL NOT GO CLEART HROUGH THE LID.

MINIMUM COVER ON SANITARY SEWER SHALL BE 36" TO TOP OF PIPE.

ALL LIDS SHALL BE PROVIDED WITH WATERTIGHT POLYETHYLENE MANHOLE INSERTS.

INSIDE SURFACES OF MANHOLES TO BE TREATED WITH TWO COATS KOPPERS BITUMASTIC 300—M OR EQUAL, MINIMUM DRY THICKNESS 16 MILS. MANHOLES SHALL BE CURED TWENTY—ONE (21) DAYS BEFORE COATING, MANHOLES SHALL BE PANTED AT FACTORY ON THE OUTSIDE PRIOR TO SITE DELIVERY, FIRST COAT TO BE RED, SECOND COAT TO BE BLACK.

ALL EXISTING MANHOLES TO BE TREATED WITH TWO COATS OF SUPERCOAT OR APPROVED EQUAL.

UPON COMPLETION OF THE WORK A LAMPING INSPECTION SHALL BE MADE OF THE COMPLETED SYSTEM ALONG WITH AN INFILTRATION AND EXFILTRATION TEST. AFTER ALL TESTING HAS BEEN COMPLETED.

THE EXTERIOR OF ALL SANITARY SEWER MANHOLES SHALL BE WATERPROOFED

MANHOLE JOINTS WILL BE SEALED WITH RAMNEK OR APPROVED EQUAL AND ANTI-HYDRO CEMENT INSIDE AND OUT.

ALL SANITARY SEWER GRAVITY MAINS AND SERVICES SHALL BE BEDDED AND BACKFILLED PER STANDARD TRENCH DETAIL.

ALL WORKMANSHIP AND MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF THE ORANGE COUNTY UTILITIES (O.C.U.)

EARTHWORKS.

THE CONTRACTOR'S BID FOR EARTHWORK SHALL INCLUDE THE EXCAVATION, REMOVAL, AND DISPOSAL OF ALL MATERIALS, OF WHATEVER CHARACTER WITHIN THE LIMITS OF CONSTRUCTION. ALL TOPSOIL INFAT IS SUITABLE FOR LANDSCAPING OR GRASSING OPERATIONS MAY BE STOCKPILED NEARBY FOR SUCH USE IF APPROVED BY OWNER, WHERE MUCK, ROCK, CLAY, OR OFFICE THE CONTRACTOR SHALL EXCAVATE SUCH MATERIAL IN ITS ENHERETY AND BACKFILL WITH SUITABLE MATERIAL WHICH SHALL BE COMPACTED IN PLACE TO CONFORM TO THE REQUIRED GRADES AND SECTIONS AS SHOWN ON THE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERRY THE UNSUITABLE MATERIAL PRESENT ON-SITE AND INCLUDE THE REMOVAL AND REPLACEMENT OF SAME IN HIS BID PRICE. THE CONTRACTOR'S HALL BE CONFORMED TO SHALL BY THE PROPERTY OF SHALL BY THE CONTRACTOR'S SHALL EXCAVATION OF THE PROPERTY OF SHALL BY THE PROPERTY OF SHALL BY THE CONTRACTOR'S SHALL BY THE OWN THE PLANS OF SHALL BY THE OWN THE OWN THE OWN THE OWN THE PLANS.

CONSTRUCTION LIMITS WITHIN THE RIGHT-OF-WAY SHALL BE COMPLETELY DEMUCKED BEFORE CONSTRUCTION BEGINS. NO MATERIAL OF CLASSES A-5, A-7, OR A-8 SHALL BE ALLOWED. ALL MATERIAL SUPPORTING THE ROADWAY SHALL BE STABLIZED TO HAVE A MINIMUM BER OF AUSUGRADES SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY PER AASHTO T-180.

WHEREVER EXCAVATIONS FOR UTILITIES ARE MADE BELOW THE GRADES INDICATED ON THE PLANS, GRANULAR MATERIAL FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL SHALL BE USED TO RESTORE THE AREA TO THE PROPER GRADE, AND SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE PER AASHTO T-180.

AREAS TO BE COMPACTED SHALL BE MOISTENED AND COMPACTED BY EITHER ROLLING, TAMPING OR ANY OTHER METHOD APPROVED BY THE ENGINEER, IN ORDER TO OBTAIN THE DESIRED DENSITY. THE ENGINEER SHALL INSPECT ALL COMPACTED AREAS PRIOR TO FURTHER CONSTRUCTION OPERATIONS.

PRIOR TO BACKFILLING AROUND STRUCTURES THE AREAS SHALL BE CLEAN OF ALL TRASH AND DEBRIS OF ANY DESCRIPTION, UNLESS DIRECTED BY THE ENGINEER TO BE LEFT IN PLACE, SUCH AS SHEETING AND BRACING, BACKFILL SHALL BE HAND TAMPED IN 12" COMPACTED UFFS.

REINFORCED CONCRETE PIPE SHALL MEET THE REQUIREMENTS OF F.D.O.T. STANDARD SPECIFICATIONS SECTION 941, CONCRETE PIPE SHALL BE CLASS III OR AS SHOWN ON THE PLANS. PIPE GASKETS SHALL MEET F.D.O.T. STANDARD SPECIFICATIONS SECTION 942.

PRIOR TO BACKFILLING THE DRAINAGE SYSTEM, THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR INSPECTION.

BOTTOM OF ALL INLETS SHALL BE 18" BELOW THE LOWEST INLET INVERT OR MINIMUM 30" FOR P.R.B.

DRAINAGE STRUCTURES SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE BY THE AGENCIES.

UNDERGROUND UTILITIES SHALL BE COMPLETED OR SLEEVING PROVIDED BEFORE ANY LIMEROCK BASE COURSE CONSTRUCTION BEGINS.

ALL PAVEMENT SUBGRADE MATERIAL SHALL HAVE AN LBR OF 40 AT 98% MAXIMUM BENSITY AT OPTIMUM MOISTURE PER AASHTO T-180, METHOD 10°. THE ENGINEER SHALL SPECIFY THE LOCATION AND NUMBER OF DENSITY TESTS, WIMMUM EVERY 2400 S.F. OF PAVEMENT REQUIRED OR A MIN. OF ONE DENSITY TEST OVER EVERY TRENCH. THE TEST RESULTS SHALL BE ACCEPTED BY THE ENGINEER PRIOR TO FLACEMENT OF BASE MATERIAL.

IF THE PLANS INDICATE A STABILIZED SUBBASE IS TO BE USED IT SHALL HAVE A MINIMUM LBR VALUE OF 40 OR A FBY OF 75, 12" THICK COMPACTED TO A MINIMUM 98% DRY DENSITY AS PER AASHTO 1-180 AND SHALL BE IN ACCORDANCE WITH FLO.T. SECTION 160. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SUBMIT TO THE ENGINEER FOR APPROVAL THE MATERIAL TO BE USED FOR THE SUBBASE AND THEIR PROPORTIONS, AND LABORATORY LBR. BEFORE DELIVERY TO THE SITE. QUALITY CONTROL LBR'S MAY BE REQUIRED BY THE ENGINEER TO PROVE THE IN PLACE CONDITION.

IF THE PLANS INDICATE A LIMEROCK BASE, THE CONSTRUCTION AND THE MATERIAL FOR THE LIMEROCK BASE SHALL CONFORM TO THE REQUIREMENTS OF F.D.O.T. SPECIFICATIONS, SECTION 200. THE LIMEROCK BASE SHALL BE COMPACTED TO 98% MAXIMUM DENSITY AT OFTIMUM MOISTURE, AASHTO T-180, METHOD "O", THE ENGINEER SHALL SPECIFY THE LOCATION AND NUMBER OF DENSITY TESTS REQUIRED. THE TEST RESULTS SHALL BE ACCEPTED BY THE ENGINEER PRIOR TO APPLICATION OF THE PRIME AND TACK COATS.

ALL GRADES SHOWN REFER TO FINISHED ASPHALT PAVEMENT UNLESS OTHERWISE NOTED. FOR STABILIZING AT INTERSECTIONS, TURNOUTS, AND GRADED CONNECTIONS SEE STANDARD INDEX NO. 515. SEE TYPICAL SECTION FOR DEPTH AND LBR.

LIMEROCK BASES SHALL BE EIGHT INCHES (8°) THICK. LIMEROCK OF THE MIAMI FORMATION OR EQUIVALENT SHALL BE USED AND SHALL HAVE A MINIMUM CARBONATE CONTENT OF 70%, AND A MINIMUM LBR OF 100. BASE MATERIAL SHALL BE COMPACTED TO A DENSITY OF NOT LESS THAN 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.

THE PRIME AND TACK COAT CONSTRUCTION AND MATERIALS FOR THE PRIME AND TACK COATS SHALL CONFORM TO THE REQUIREMENTS OF F.D.O.T. STANDARD SPECIFICATIONS, SECTION 300. THE PRIME AND TACK COATS SHALL BE APPLIED FRIOR TO CONSTRUCTION OF THE ASPHALT SURFACE COURSE AND SHALL BE ANDED AND ROLLED IN ACCORDANCE WITH SECTION 300.APPLICATION RATES SHALL BE 0.25 GALTS, FOR LIMEROCK BASE.

ASPHALTIC CONCRETE SURFACE COURSE SHALL BE AS SHOWN ON THE PLANS. THE MATERIALS FOR THE ASPHALT CONCRETE SURFACE COURSE SHALL CONFORM TO THE REQUIREMENTS OF F.D.O.T. STANDARD SPECIFICATIONS, SECTION 331.

SURFACE COURSE SHALL BE 1-1/2" THICK. STAGE CONSTRUCTION WILL BE REQUIRED. STAGE (BOTTOM COURSE) SHALL BE 3/4" THICK TYPE S-III. STAGE II (TOP COURSE) SHALL BE 3/4" THICK TYPE S-III. STAGE II SHALL NOT BE PLACED UNTIL ALL CONSTRUCTION IS COMPLETED OR AS DIRECTED BY THE CITY OF APOPKA.

RAISE ALL P.C.P. OR P.R.M. SHOWN ON THE PLAT TO FINAL GRADE IF THEY ARE LOCATED IN PAVEMENTS OR CONCRETE.

A PROCTOR SHALL BE PERFORMED ON ALL SUBGRADE AND LIMEROCK BASE MATERIAL AND SUBSEQUENT CHANGES IN MATERIAL. LBR'S, SIEVE ANALYSIS, AND DENSITIES SHALL BE SUBMITTED TO THE CITY.

ALL REPAIRS TO EXISTING PAVEMENT SHALL BE SAWCUT AT THE EDGES PRIOR TO RELAYING THE ASPHALT.

### GENERAL NOTES:

ALL CONSTRUCTION, MATERIAL, INSTALLATION, AND TESTING SHALL BE IN ACCORDANCE WITH HE FLD.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDDE CONSTRUCTION TOGETHER WITH THE CITY'S MINIMUM DESIGN STANDARDS AND SPECIFICATIONS AS APPLICABLE, IF F.D.O.T. MATERIAL IS SPECIFIED, IT SHALL IMPLY THAT THEIR CONSTRUCTION PROCEDURES SHALL BE FOLLOWED.

THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO CONSTRUCTION. THE LOCATIONS OF THE EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMANT ONLY. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERY IF FORMEY "UTILITIES (NOT SHOWN ON THE PLANS) EXIST WITHIN THE AREA OF CONSTRUCTION. SHOULD THERE BE "OTHER" UTILITIES, THE CONTRACTOR SHALL NOTE? "THE RESPECTION." SHOULD THERE BE "OTHER" UTILITY OF THE PROPERTY OF THE PR

ALL DEVIATIONS FROM PLANS ARE TO BE APPROVED BY ENGINEER IN WRITING PRIOR TO CONSTRUCTION AND FOR ALL INSPECTIONS AND TESTING.

THE ENGINEER MUST BE GIVEN A MINIMUM 48 HOURS NOTICE PRIOR TO START OF CONSTRUCTION AND FOR ALL INSPECTIONS AND TESTING.

THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES AND IMPROVEMENTS FROM DAMAGES, DISRUPTION OF SERVICE, OR DESTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS RECESSARY TO PROTECT HE HEALTH, SAFETY, AND WELTARE OF THOSE PERSONS HANDING ACCESS TO THE WORK SITE.

MORTAR USED TO SEAL THE PIPE INTO THE WALLS OF THE PRECAST STRUCTURES WILL BE NON-SHRINK GROUT AND WILL NOT CAUSE LEAKAGE IN OR OUT OF THE STRUCTURES. THE MAXIMUM OPENING THROUGH WALLS FOR PIPES SHALL BE THE MAXIMUM REQUIRED OUTSIDE DIAMETER PLUS 6".

NO PIPE SHALL BE COVERED UNTIL INSPECTED AND APPROVED BY THE ENGINEER AND OTHER APPLICABLE AUTHORITIES.

ALL PIPE SHALL BE LAID IN A DRY TRENCH; ALL MUCK OR OTHER UNSTABLE MATERIAL ENCOUNTERED IN TRENCH BOTTOM SHALL BE REMOVED AND BACKFILLED WITH GRANULAR MATERIAL, COMPACTED TO 100% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99, METHOD 1°C.

SHOP DRAWINGS FOR ALL STRUCTURES AND MATERIALS TO BE USED ON THE PROJECT SHALL BE SUBMITTED TO THE DESIGN ENGINEER AND THE RESPECTIVE ENGINEER AND UTILITY DEPARTMENTS FOR APPROVAL PRIOR TO CONSTRUCTION OR INSTALLATION.

EXISTING SECTION CORNERS AND OTHER LAND MARKERS OR MONUMENTS LOCATED WITHIN PROPOSED CONSTRUCTION ARE TO BE MAINTAINED BY THE CONTRACTOR AND ADDRESS AFTER CONSTRUCTION UNDER CERTIFICATION BY A PROFESSIONAL MAPPER AND SURVEYOR

CONTRACTOR IS TO PREVENT INTRODUCTION OF DEBRIS OR DIRT INTO EXISTING STORM DRAIN AND/OR SANITARY SYSTEM AS A RESULT OF CONSTRUCTION ACTIVITIES. ALL LINES AND STRUCTURES SHALL BE CLEANED PRIOR TO FINAL INSPECTION AND ACCEPTANCE.

LOCATION OF DRAINAGE AND SANITARY SEWER STRUCTURES GOVERN, ADJUST PIPE LENGTHS AS REQUIRED.

THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" SHALL BE USED AS THE STANDARD FOR THE SIGNAGE AND PAVEMENT MARKING REQUIREMENTS OF THE PROJECT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING APPROPRIATE SAFETY PRECAUTIONS DURING EXCAVATION AND TRENCHING OPERATIONS AS REQUIRED BY THE "TRENCH SAFETY ACT" AND THE O.S.H.A. PART "PC

THE CONTRACTOR'S MATERIALS AND TEST CERTIFICATE FOR UNDERGROUND PIPING WILL BE SUBMITTED TO THE CITY OF APOPKA. AND THE ENGINEER.

ALL MANHOLES SHALL BE SET PLUMB TO LINE AND GRADE AND SHALL REST ON A FIRM CAREFULLY GRADED SUBGRADE WHICH SHALL PROVIDE UNIFORM BEARING UNDER BASE. ALL JOINTS SHALL BE FURNISHED WATERTIGHT.

GENERAL CONSTRUCTION NOTES:

1. NO CONNECTIONS FOR THE PURPOSE OF OBTAINING WATER SUPPLY DURING CONSTRUCTION SHALL BE MADE TO ANY FIRE HYDRANT OR BLOW-OFF STRUCTURE WITHOUT FIRST OBTAINING PERMISSION AND A CONSTRUCTION METER FROM THE ORANGE COUNTY UTILITIES (O.C.U.).

2. THE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING, MOVING AND RELOCATING OR REPLACING ALL WATER SERVICES OR SEVER LATERALS WHICH ARE ENCOUNTERED DURING EXCAVATION FOR CONTRACTOR SHALL SUBJECT A WRITTEN PLAN FOR WATER SERVICE AND WATER SERVICE DISRUPTION FOR APPROVAL 7 (SEVEN) CALENDAR DAYS PRIOR TO THE ANTICATED DISRUPTION. THE CONTRACTOR SHALL NOBITY THE PROPERTY OWNERS AS HOURS IN ADVANCE OF ANY WORK ON THEIR SERVICES. THIS WORK SHALL BE CONSIDERED INCIDENTAL

3. THE CONTRACTOR MUST USE EXTRUCES. HIDS WORK SHALL BE CONSIDERED INCIDENTAL STRING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. ALL PLAN LOCATIONS ARE APPROXIMATE AND SHALL BE FIELD VERHIELD. CONTRACTOR IS TO CONTACT SUNSHINE STATE ONE CALL OF FLORIDIA AT 1-800-432-4707 AND ALL OTHER PARTICIPATING UTILITIES 2 FULL BUSINESS DAYS PRIOR TO CONSTRUCTION FOR FIELD MARKUP LOCATIONS OF EXISTING UTILITIES AND FACILITIES.

4. THE CONTRACTOR MUST INFORM THE CITY AT LEAST 48-HOURS IN ADVANCE OF CONSTRUCTION, IN WRITING IF ANY CONFLICT IS DISCOVERED DURING POT HOLE OPERATIONS FOR CLARIFICATION BY THE CITY.

5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE UTILITIES DEPARTME OF THE CITY OF APOPKA AND O.C.U. AT LEAST TWO (2) BUSINESS DAYS IN ADVANCE TO COORDINATE ANY ACTIVITY TO BE PERFORMED BY THE CITY'S UTILITIES DEPARTMENT.

6. CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE EXISTING RIGHTS-OF-WAY

7. IN GENERAL, EXISTING STRUCTURES AND UTILITIES ARE NOTED AS EXISTING AND/OR SHOWN IN THIN LINES. NEW CONSTRUCTION IS IN HEAVY LINES AND/OR UNDERLINED.

8. ALL WORK WITHIN STATE DEPARTMENT OF TRANSPORTATION (FDOT) RIGHT-OF-WAYS SHALL BE IN CONFORMANCE WITH FDOT SPECIFICATIONS AND PERMIT REQUIREMENTS.

9. ALL WORK WITHIN ORANGE COUNTY RIGHT-OF-WAYS SHALL BE IN CONFORMANCE WITH THE ORANGE COUNTY MINIMUM STANDARDS AND/OR REQUIREMENTS. 10. CONTRACTOR SHALL COMPLY WITH ALL LOCAL CITY, COUNTY AND STATE REGULATIONS PERTAINING TO THE CLOSING OF PUBLIC STREETS FOR USE OF TRAFFIC DURING CONSTRUCTION.

11. CONTRACTOR SHALL PREPARE AND SUBMIT MAINTENANCE OF TRAFFIC (MOT) PLANS TO FDOT, CITY OF APOPKA, ORANGE COUNTY AS REQUIRED FOR WORK TO BE DONE WITHIN THEIR RYW PRIOR TO COMMENCEMENT OF WORK, SPECIFIC AGENCY MOT REQUIREMENTS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

12. STATIONS SHOWN ON THE DRAWINGS ARE BASED ON THE ESTABLISHED BASELINE AND SHALL NOT BE CONSIDERED AS DISTANCES OR AS A MEASURE OF THE LINEAR FOOTAGE OF PIPE TO BE INSTALLED.

13. THE GENERAL INTENT IS TO PROVIDE SEWER SERVICE LATERALS FOR EACH PROPERTY. ALL LATERAL LOCATIONS SHALL BE FIELD ADJUSTED.

14. CONTRACTOR SHALL MAINTAIN ACCESS TO PRIVATE PROPERTY AT ALL TIMES.

15. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAY OR WALKWAY SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.

16. TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS SHALL NOT BE LEFT OPEN DURING NIGHT TIME HOURS WITHOUT ADEQUATE PROTECTION.

17. CONTRACTOR SHALL PROMPTLY REPAIR AND RESTORE EXISTING PAVEMENT, SIDEWALKS, CURBS, DRIVEWAYS, PIPES, RESIDENTIAL AND COMMERCIAL SPRINKLER LINES, CONDUIT, CABLES, ETC. AND LANDSCAPE AREAS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES.

19. THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF WORK, FOR THE PROTECTION OF EXISTING AND KINLY INSTALLED UTILITIES FROM DAMAGE OR DISROPHION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.

20. LOCATION OF AIR RELEASE VALVES MAY BE FIELD ADJUSTED BY THE ENGINEER OR O.C.U. AS NECESSARY.

21. CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND HOLES, PULL BOXES, INLETS AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAYED WITH ASPHALT.
EXISTING TRAFFIC SIGNS SHALL BE RESET UPON COMPLETION PER FDOT STANDARDS. COST SHALL BE CONSIDERED INCIDENTAL CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED TRAFFIC SIGNAL LOOPS PER ORANGE COUNTY TRAFFIC ENGINEERING SPECIFICATIONS, COST SHALL BE CONDENTAL.

### GENERAL NOTES - TRAFFIC CONTROL PLAN

GENERAL NOTES — TRAFFIC CONTROL PLAN

I. HE TRAFFIC CONTROL BANS FOR THE PROJECT SHALL COMPLY WITH THE LATEST EDITION
OF THE ROADWAY AND TRAFFIC DESIGN STANDARDS, INDEX NO. 600-660. MUTCD AND THE
STANDARD SPECIFICATIONS. THE CONTRACTOR'S RESPONSE TIME TO ALL REPORTED
MALFUNCTIONS OF TRAFFIC SIGNALS WITHIN THE PROJECT LIMITS SHALL BE NO MORE THAN
TWO (2) HOURS AND SHALL RESTORE ALL MALFUNCTIONING TRAFFIC SIGNAL EQUIPMENT TO ITS
LEVEL OF OPERATION PRIOR TO THE MALFUNCTIONING MITHIN TWENTY-FOUR (24) HOURS
CONTROL DEVICES, A GLEEN FROM THE PROVIDE AT THE SEPPENCE TRAIN. AS NECESSARY
CONTROL DEVICES, A GLEEN FROM THE CONTROL THE AFFICIED WORK ZONE. THE
ENONIEER OF THE CITY OF BOCA RATON. SHALL APPROVE ALL MODIFICATIONS PRIOR TO THEIR
IMPLEMENTATION.

THE CONTRACTOR SHALL MAINTAIN PROPER OPERATION OF ALL TRAFFIC SIGNAL LOOP ASSEMBLES AND LOOP DETECTORS WITHIN THE PROJECT LIMITS. THE CONTRACTOR SHALL CORRECT ALL LOOP ASSEMBLY/DETECTOR MALFUNCTIONS WITHIN 24 HOURS OF NOTIFICATION OF SUCH MALFUNCTIONS BY THE ENGINEER.

3. THE AGENCY RESPONSIBLE FOR MAINTENANCE OF THE TRAFFIC SIGNALS AND RELATED EQUIPMENT IS ORANGE COUNTY TRAFFIC ENGINEERING.

4. A REGULATORY SPEED OF 25 MPH SHALL BE POSTED WITHIN THE LIMITS OF THE WORK ZONE.

5. EXISTING SIGNS AND PAVEMENT MARKINGS THAT CONFLICT WITH CONSTRUCTION SIGNS AND MARKINGS SHALL BE REMOVED DURING CONSTRUCTION. ALL EXISTING SIGNS THAT ARE REMOVED SHALL BE STOCKPHED IN A SECURE PLACE AND REINSTALLED AFTER CONSTRUCTION. REMOVE AND REPLACE ANY GROUND MOUNT SIGN BY USE OF INDEX NO. 611.

6. THE CONTRACTOR SHALL MAINTAIN EXISTING DRAINAGE PATTERNS AND PREVENT ADVERSE FLOODING OF THE TRAVEL LANES DURING CONSTRUCTION.

7. THE CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM THE CITY OF APOPKA, FOR ANY AND ALL CONSTRUCTION ACTIVITIES TO BE PERFORMED AT MIGHT, NO LANE CLOSURE SHALL BE ALLOWED BETWEEN THE HOURS OF 6:00 AM TO 8:00 AM AND 4:00 PM TO 7:00 PM, MONDAY THROUGH FRIDAY UNILESS APPROVED BY THE ENGINEER.

8. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY TWO (2) BUSINESS DAYS IN ADVANCE OF ANY EXCAVATION INVOLVING ITS UTILITIES SO THAT A COMPANY EXPERIENCE AND A COMPANY CANDED THAT A CONTRACTOR DURING CONSTRUCTION. SEE SPECS FOR LIST OF UTILITY COMPANIES.

### WATER SYSTEM NOTES:

1. DUCTILE IRON WATER MAIN PIPE. SHALL CONFORM TO THE REQUIREMENTS OF A.N.S.L./ A.W.W.A. C-151/A 27.51-02 AND LINED AND COATED PER A.N.S.L./A.W.W.A. C-104/A-214-03. 20° AND SMALLER PIPE SHALL BE PRESSURE CLASS 350; 24° AND LARGER, PIPE SHALL BE PRESSURE CLASS 250.

ALL P.V.C. MAINS SHALL BE SERIES 1120, CLASS 150 (DR 18) PRESSURE PIPE, CONFORMING TO ANS.I./A.W.W.A. C-900-97, OR LATEST REVISION, AND SHALL HAVE PUSH ON JOINTS, AND IRON PIPE CO.

3. FITTINGS SHALL BE DUCTILE IRON MEETING A.N.S.I./A.W.W.A. C153/21.00 AND SHALL BE COATED WITH 6 TO 8 MIL. THICKNESS COAL TAR EPDXY CONFORMING TO THE REQUIREMENTS OF A.N.S.I./A.W.W.A. C550-01 AND C116/AZI-03.

5, GATE VALVES 3" OR LESS SHALL BE NIBCO T-133 OR T-136 WITH MALLEABLE HAND WHEELS. NO SUBSTITUTIONS ALLOWED.

6. TAPPING SLEEVES SHALL BE MUELLER H615 OR APPROVED EQUAL. 7. RESTRAINED JOINT PIPE SHALL BE USED FOR ALL BENDS, TEES, CROSSES, PLUGS, AND FIRE HYDRANTS. THRUST BLOCKS SHALL NOT BE ALLOWED.

8. ALL VALVES SHALL BE FURNISHED WITH EXTENSION TYPE CAST IRON VALVE BOXES OF PROPER LENGTH FOR PIPE DEPTH. ALL BOXES SHALL CONFORM WITH A WWW.A. SPECIFICATIONS WITH A SHAFT OF NO LESS THAN 5 INCHES AND HAVE THE WORD "WATER" CAST IN THE COVER. BASE OF VALVE BOX SHALL HAVE A FLARED SECTION TO FIT OVER STUFFING BOX OF VALVE.SUPERSEDED ELSEWHERE IN PLANS OR SPECIFICATIONS.

9. GATE VALVES 4" OR LARGER SHALL MEET A.W.W.A. C-500-02 SPECIFICATION (LATEST REVISION). VALVES SHALL BE MUELLER CO. OR APPROVED EQUAL.

10. FIRE HYDRANTS SHALL BE BREAKAWAY MUELLER CO. CENTURION MODEL #A-423, OR METROPOLITAN 250 EDDY COMPRESSION TYPE F.H. OR APPROVED EQUAL.

11, FIRE HYDRANTS SHALL BE INSTALLED WITH THE CENTER OF THE NOZZLE  $18\ensuremath{^{\circ}}$  ABOVE FINISHED GRADE.

12. ALL METER SERVICE CONNECTIONS SHALL BE BRONZE FROM PLUG VALVE. NO GATE VALVES ARE TO BE USED (2" OR LESS).

1.3. THE CITY OF APOPKA WILL TAKE ALL BACTERIOLOGICAL TESTS, TO BE SCHEDULED VIA INSPECTOR, IF OTHERWISE SPECIFIED IN CONTRACT DETAILED SPECIFICATION AND/OR AUTHORIZED BY THE ENORMER OF RECORD, BACTERIOLOGICAL TESTS MAY BE PERFORMED BY A CERTIFIED ENVIRONMENTAL TESTING LABORATORY.

14. ALL CONNECTIONS TO EXISTING MAINS SHALL BE MADE UNDER THE DIRECTION OF THE ORANGE COUNTY UTILITIES (O.C.U.)

IS. PIPE SHALL BE TESTED UNDER CONSTANT PRESSURE OF 150 P.S.I. FOR A MINIMUM TEST PERIOD OF 2 HOURS AND SHALL NOT EXCEED THE LEAKAGE REQUIREMENTS AS FER AN.S.I./A.W.M.A. SPECIRCATIONS OF C-600-99 LEAKAGE FORMULA: Q = (SD \p)/146,000 Q = ALLOWABLE LEAKAGE, IN GALLONS PER HOUR D = OLMETER OF THE PIPE TESTED, IN INCHES. S = 107AL LENGTH OF PIPE TESTED, IN FEET. P = AVERAGE TEST PRESSURE, IN TOUNDS PER SQUARE INCH.

16. THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 36" EXCEPT WHERE SHOWN DIFFERENTLY ON PLANS.

17. DISINFECTION OF MAINS SHALL COMPLY WITH A.N.S.I./A.W.W.A. C-651-99
STANDARD, BACTERIOLOGICAL SAMPLING POINTS SHALL BE DESIGNATED ON THE ENGINEERING
POINTS IS 1500 FEET.

18. DEAD-END WATER MAINS 6" OR LARGER SHALL TERMINATE WITH A FIRE HYDRANT.

19. THERE SHALL BE NO CONNECTION TO AN EXISTING WATER MAIN UNTIL PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN CONDUCTED AND THE RESULTS ARE APPROVED AND ACCEPTED BY THE CITY OF APOPKA AND O.C.U.

20. ALL SERVICE LINES SHALL BE COPPER TUBING, TYPE "K", OR PLASTICIZED POLYETHYLENE 3408, A.S.T.M. D-2737, S.D.R. 9, 200 P.S.I.

21. SANITARY SEWERS AND FORCE MAINS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS AND FORCE MAINS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18" BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE WHENEVER POSSIBLE.

22. WHERE SANITARY SEWER FORCE MAINS MUST CROSS A WATER MAIN WITH LESS THAN 18" VERTICAL SEPARATION, BOTH THE SEWEN AN WATER MAIN SHALL BE CONSTRUCTED FOR PROVIDE A MINIMUM SEPARATION OF 10 FEET SERVER ANY TWO JOINTS, ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6" MUST BE MAINTAINED AT ALL CROSSINGS.

24. THE PREFERRED SEPARATION BETWEEN WATER MAINS AND SEWER MAINS SHALL BE 10 FEET. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 6 FOOT HORIZONTAL SEPARATION BETWEEN THE WATER MAINS AND SEWER MAINS, ONE OF THE FOLLOWING CONDITIONS MUST BE MET. THE MININUM SEPARATION BETWEEN WATER AND SEWER MAINS SHALL BE 3 FEET:

A. THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH LEEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER. B. THE SEWER OR FORCE MAIN IS ENCASED IN CONCRETE OR A WATERTIGHT CARRIER PIPE.

25. WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18" IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OF THE MAIN SHALL BE CONSTRUCTED OF DIP. WITH A MINIMAU VERTICAL CLEARANCE OF STORM WHEN MAIN SHOULD BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM THE JOINTS ON THE SEWER OR FORCE MAIN (STRAGGERED JOINTS).

26. ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WAITER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING).

27. WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE WITH LESS THAN 18" VERTICAL CLEARANCE, THE NEW PIPE SHALL BE ARRANGED TO MEET THE CROSSING REQUIREMENTS

28. ALL DIP SHALL HAVE ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION AND IT SHALL BE USED ONLY IF AS DETERMINED BY THE DESIGN ENGINEER, BASED ON FIELD CONDITIONS. 29. RETAINER GLANDS/MECHANICAL JOINT RESTRAINT SHALL BE USED ONLY IF AUTHORIZED BY THE ENGINEER AND SHALL CONFORM TO A.N.S.I./A.W.W.A. STANDARDS C 111/A-21.11-00, OR LATEST REVISION.

30. ALL GLANDS SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWRITER'S LABORATORY FOR 250 P.S.I. MINIMUM WATER PRESSURE RATING.

31. GLANDS SHALL BE CLOW CORPORATION MODEL F-105B, STANDARD FIRE PROTECTION EQUIPMENT COMPANY, OR APPROVED EQUAL. 32. SERVICE SADDLES SHALL BE DUCTILE IRON WITH STAINLESS STEEL STRAPS. SADDLES SHALL BE DOUBLE STRAP TYPE. ALL SERVICE SADDLES SHALL CONFORM TO A.N.S.I./A.W.W.A. C 11/A-21.11-DO AND A.S.T.M. A588.

33. ALL P.V.C. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UNI-BELL PLASTIC PIPE ASSOCIATION'S "GUIDE FOR INSTALLATION OF P.V.C. PRESSURE PIPE FOR MUNICIPAL WATER DISTRIBUTION SYSTEM". WATER DISTRIBUTION PIPE SHALL BE OF "BULE" COLOR.

34. DETECTOR TAPE ON ALL P.V.C. MAINS SHALL BE INSTALLED 18" ABOVE THE WATER MAIN. 35. ALL P.V.C. MAINS MUST HAVE #6 COPPER WIRE, SINGLE STRAND, PLACED ON TOP OF PIPE, SHALL BE ELECTRICALLY CONTINUOUS OVER THE ENTIRE LENGTH OF THE PIPE, AND FASTENCE VERY 10  $^{\circ}$  WITH  $\Delta$  #12 WIRE.

36. ALL DIP SHALL BE INSTALLED IN ACCORDANCE WITH A.N.S.I./A.W.W.A. C-600-99, OR LATEST REVISION.

37. PIPE DEFLECTION SHALL NOT EXCEED 75% OF THE MAXIMUM DEFLECTION RECOMMENDED BY THE MANUFACTURER.

38. A CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED, BACKFILL MATERIAL SHALL BE TAMPED IN LAYERS AROUND THE PIPE AS SHOWN ON THE PLANS AND/OR ORANGE COUNTY UNITLIES STANDARDS AND SECRETICATION MANUAL (LATES EDITION), FOCKS OR STONES LARGER THAN 3/4" DIAMETER FOUND IN THE TRENCH SHALL BE REMOVED FOR A DEPTH OF AT LEAST 6" BELOW THE BOTTOM OF THE PIPE. 39. ALL DETAILS AND NOTES ON THIS SHEET SHALL BE APPLICABLE UNLESS OTHERWISE SUPERSEDED ELSEWHERE IN PLANS OR SPECIFICATIONS.

GENERAL PRESSURE PIPE NOTES 1. THERE SHALL BE  $36^{\prime\prime}$  MINIMUM COVER FROM FINISHED GRADE TO TOP OF PIPE. 2. ALL TRENCHING, PIPE-LAYING, BACKFILL, PRESSURE TESTING MUST COMPLY WITH ALL APPLICABLE FEDERAL, STATE, COUNTY, CITY AND HEALTH DEPARTMENT STANDARDS AND REQULATIONS.

3. THESE NOTES AND THE DETAIL SHEETS THAT ACCOMPANY THESE PLANS ARE TYPICAL IN NATURE. THE MAIN PLANS AND SPECIFICATIONS PROVISIONS WILL TAKE PRECEDENCE OVER ANY NOTE CONTAINED ON THIS OR THEN DETAIL SHEETS.

4. THE CONTRACTOR MUST POT HOLE AND VERIFY THE LOCATION, SIZE, AND ELEVATION OF EXISTING PRESSURE MAINS BEFORE MAKING A TIE—IN.

### NOTE

ALL ADA ACCESSIBLE SIDEWALKS, RAMPS, HANDICAP PARKING, ETC. IS IN ACCORDANCE w/2012 FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.

<u>–</u> Ė **Mark** 





RWALK NOTE ERAL Ш

() SCALE: N.T.S.

M.G.

A.E.V

17-3851

WIND RD R. CENSE No. 56890 STATE OF STORIOA STATE

Date: April 10, 2018

SHEET No GN1

FILE: K:\PROJECTS\17-xxx\17-3851\dwg\3851gn.dwg PLOT DATE: 4/10/2018 3:00 PM BY: Andy Vennemon LAYOUT: [GN1]

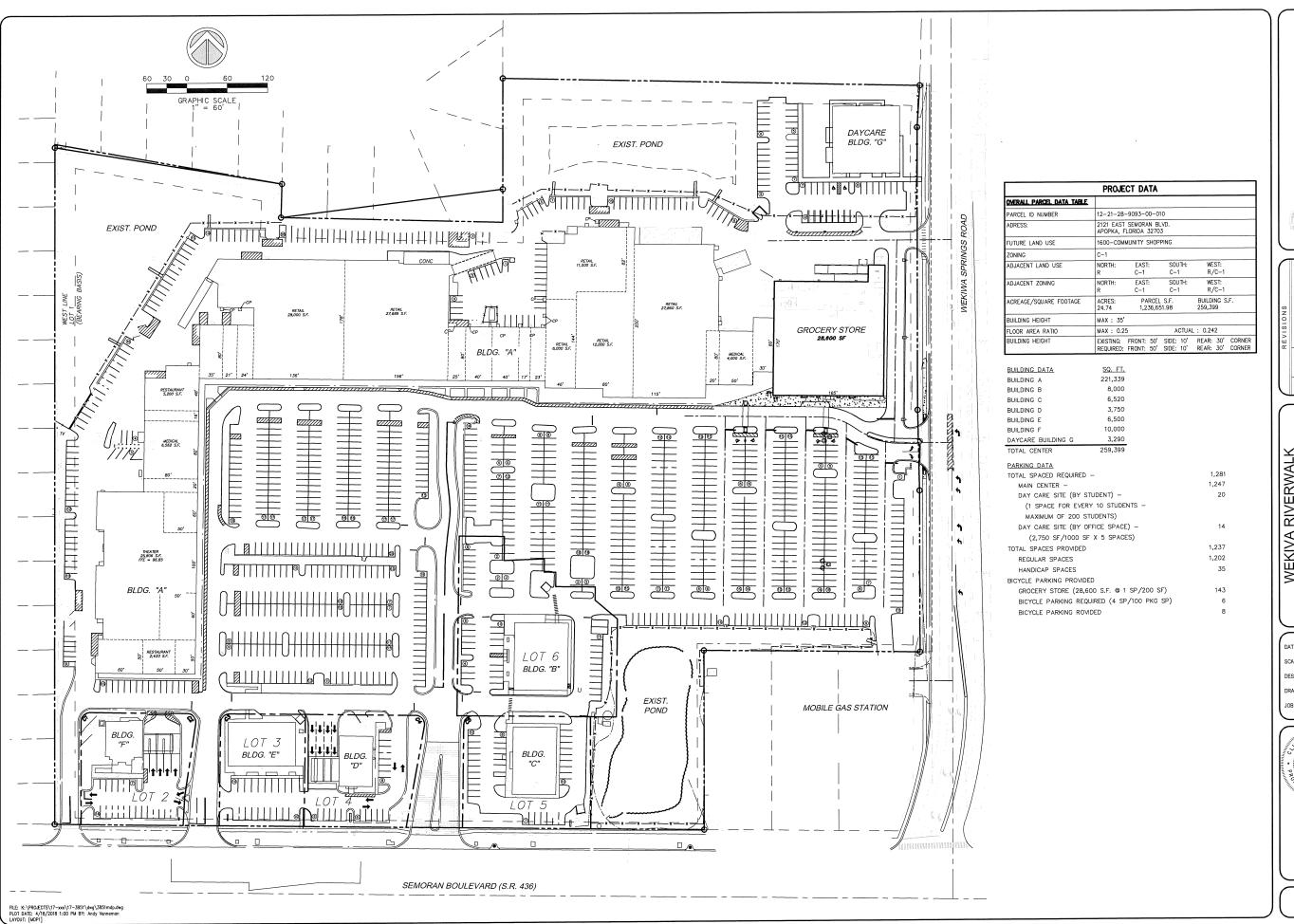
RIVEF G CEN WEKIVA F SHOPPING

DATE:

DESIGNED BY:

DRAWN BY:

JOB #:



Sun-Tech= Engineering, Inc.

SIE

DATE: 2/20/18 NO -

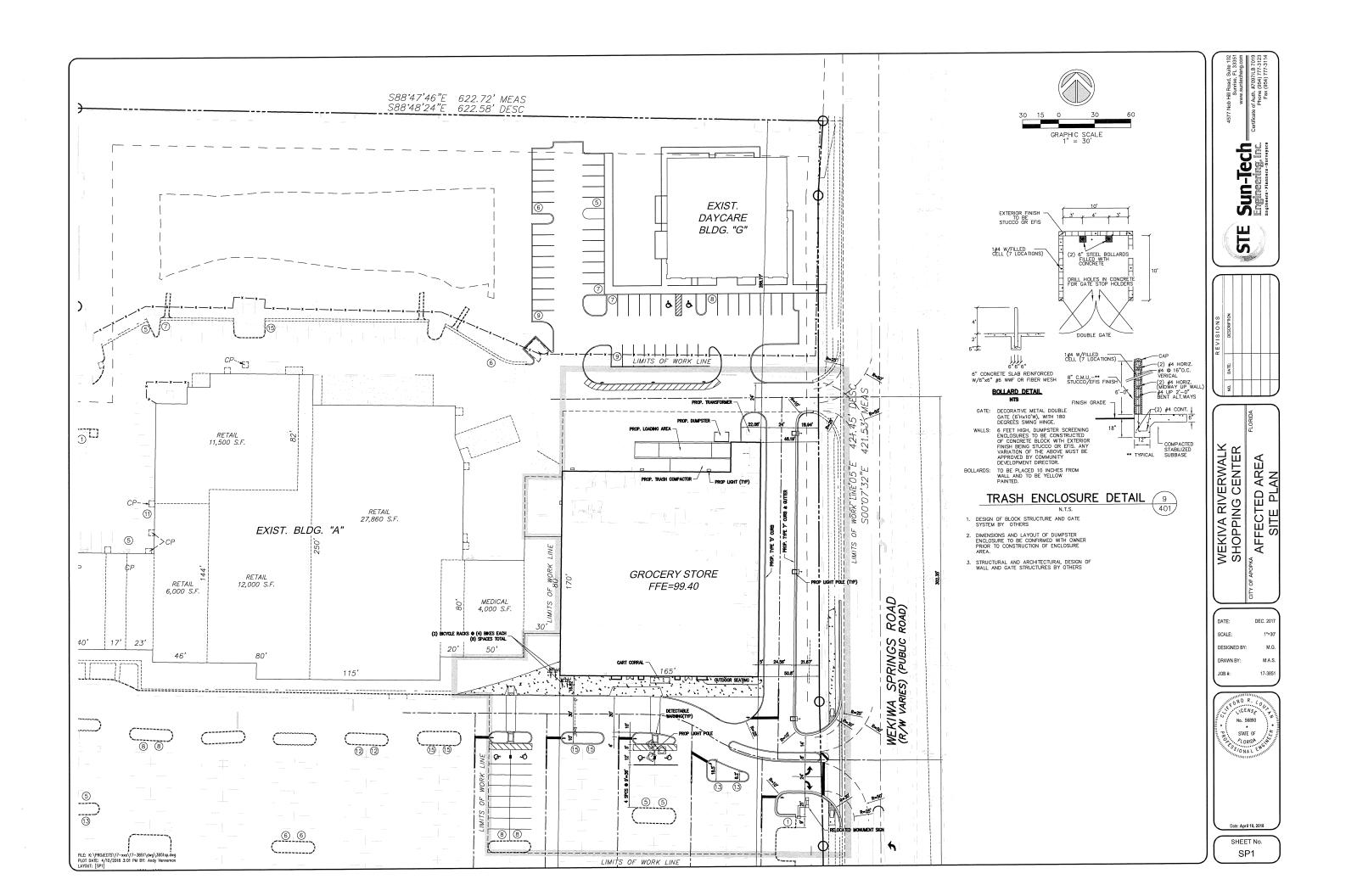
> DEVELOPMENT PLAN WEKIVA RIVERWALK SHOPPING CENTER FINAL

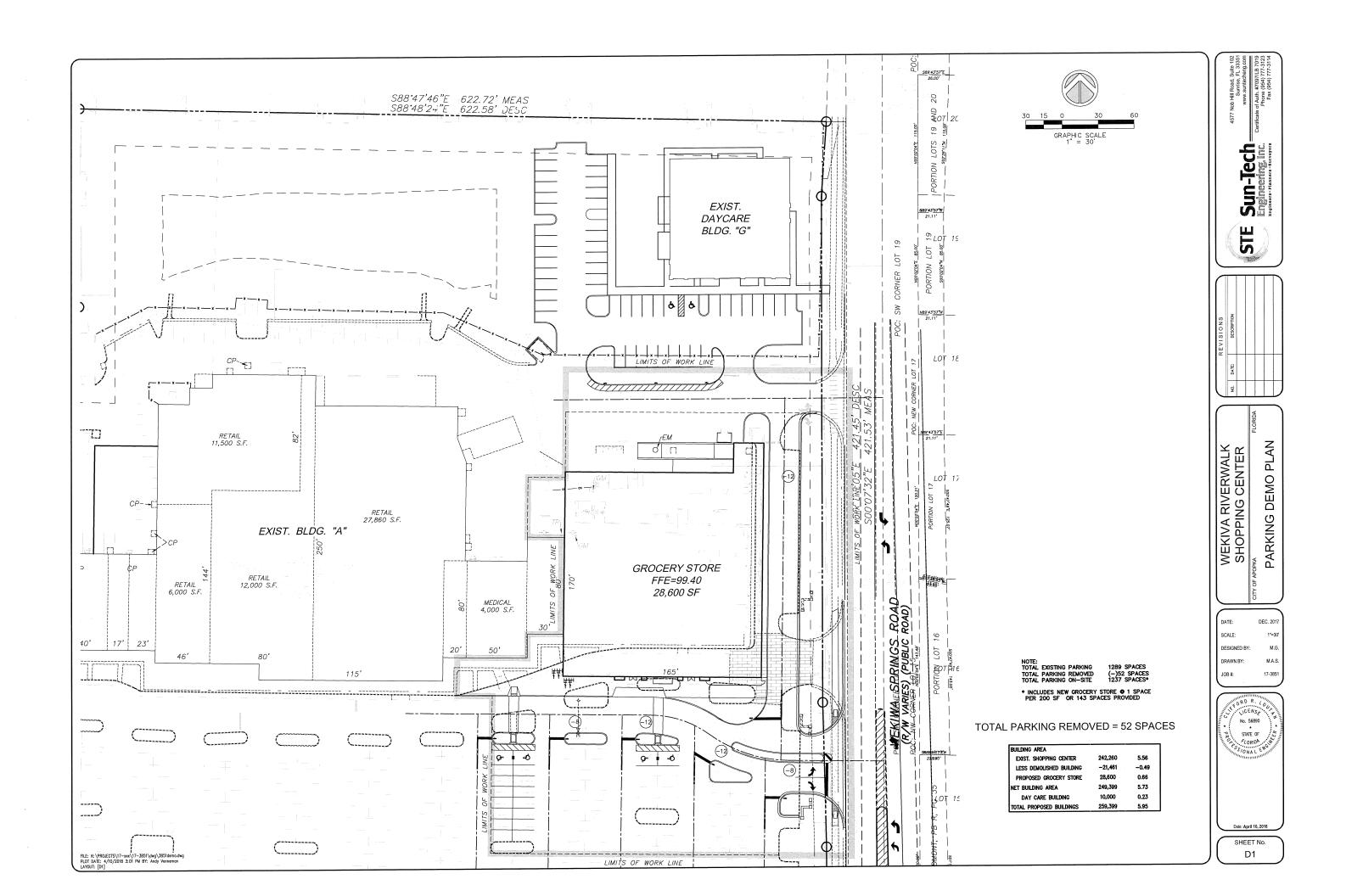
DEC. 2017 DATE: SCALE: 1"=60 M.G. DESIGNED BY: M.A.S. DRAWN BY: 17-3851

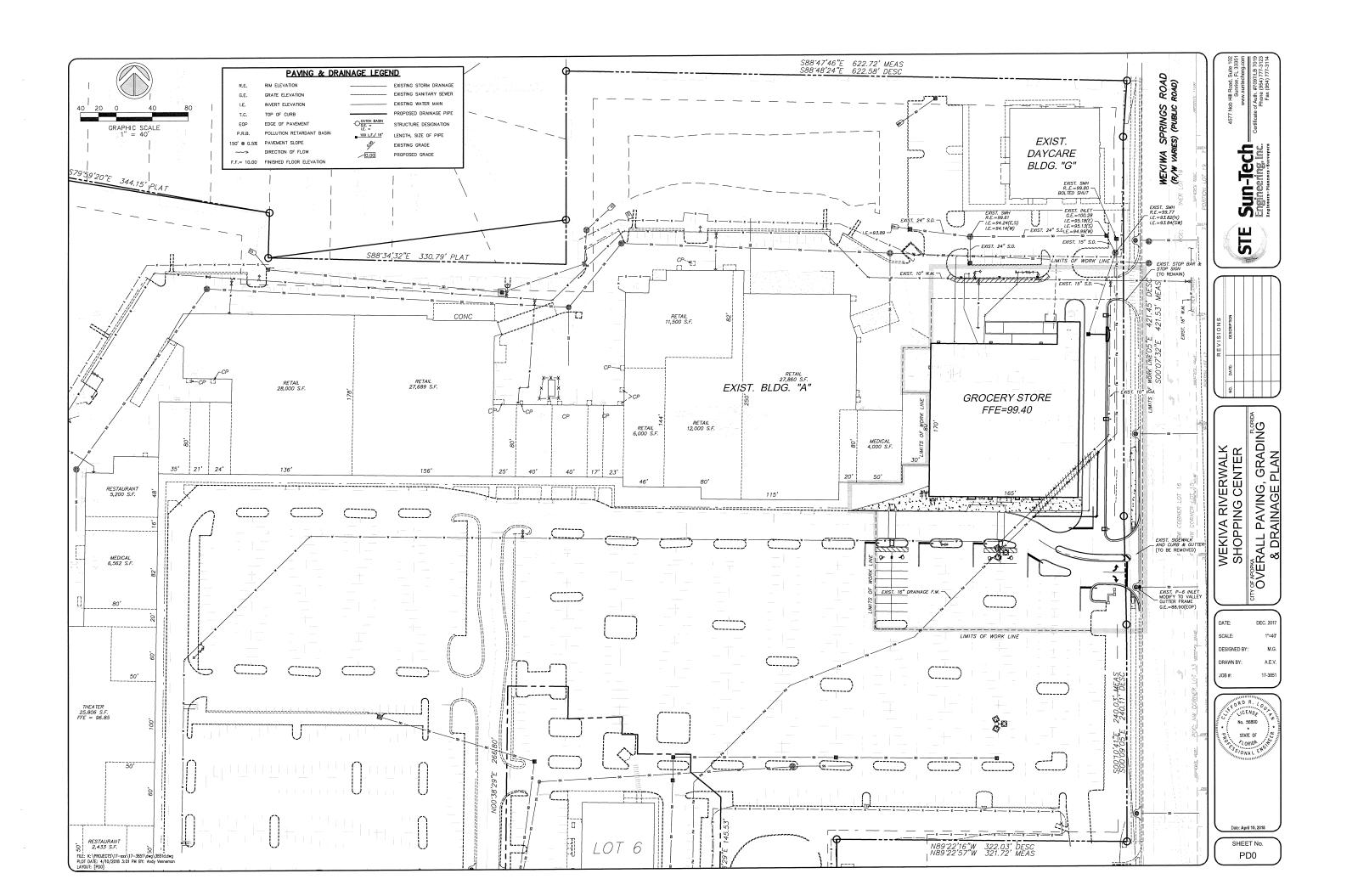


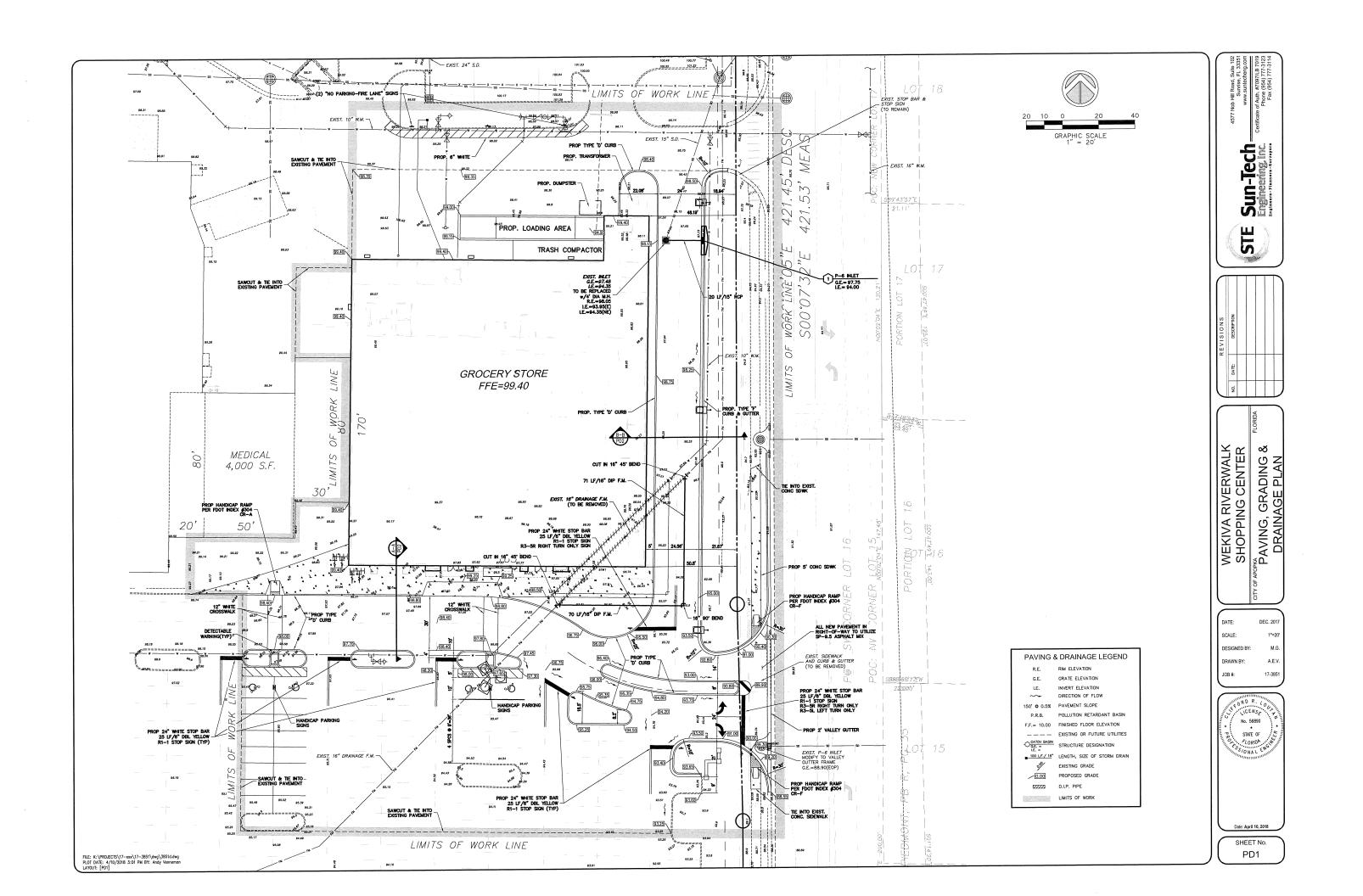
SHEET No.

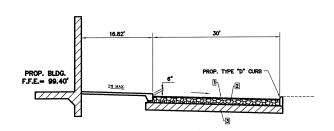
MDP1



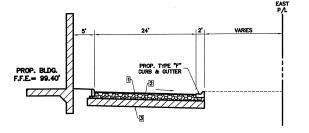








SECTION A-A

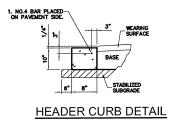


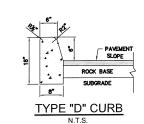
SECTION B-B

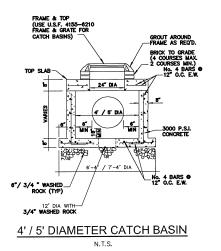
- ON-SITE PAYEMENT NOTES:

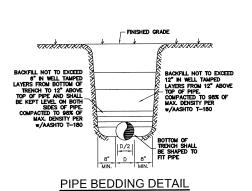
  1. THE WEARING SURFACE SHALL BE 1 1/2" THICK (MIN) IN TWO 3/4"
  LIFTS WITH THE LAST LIFT SEING PLACED AFTER ALL CONSTRUCTION IS
  COMPLETE, SP-9.5 ASPHALTIC CONCRETE, OVER PRIME COAT.

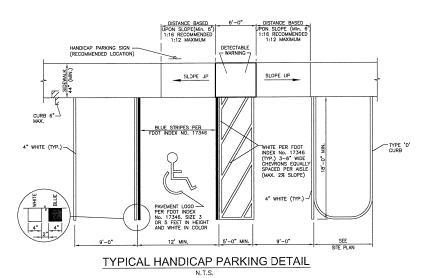
- PAVERS SHALL HAVE A MINIMUM THICKNESS OF 3% AND SHALL BE CONCRETE PER ASTM C936 OR BRICK PER ASTM C1272 (SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION)

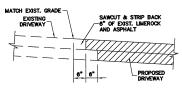




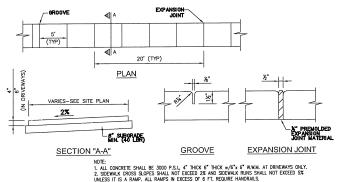










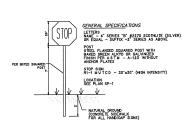


NOTE:

1. ALL CONCRETE SHALL BE 3000 P.S.I., 4" THICK 6" THICK */6"s 6" W.W.M. AT DRIVEWAYS ONLY.

2. SDEWMAK CROSS SLOPES SHALL NOT EXCEED 22 AND SIDEWALK RINS SHALL NOT EXCEED 5% UNLESS IT IS A RAMP, ALL RAMPS IN EXCESS OF 6 FT. REQUIRE HANDRALS.

SIDEWALK DETAIL



NOTE ALL HANDICAP SIGNS SHALL BE LOCATED 2" FROM THE EDGE OF PAVEMENT SIGN DETAIL

NO.

Sun-Tech= Engineering, Inc.

STE

WEKIVA RIVERWALK SHOPPING CENTER PAVING, GRADING & DRAINAGE PLAN

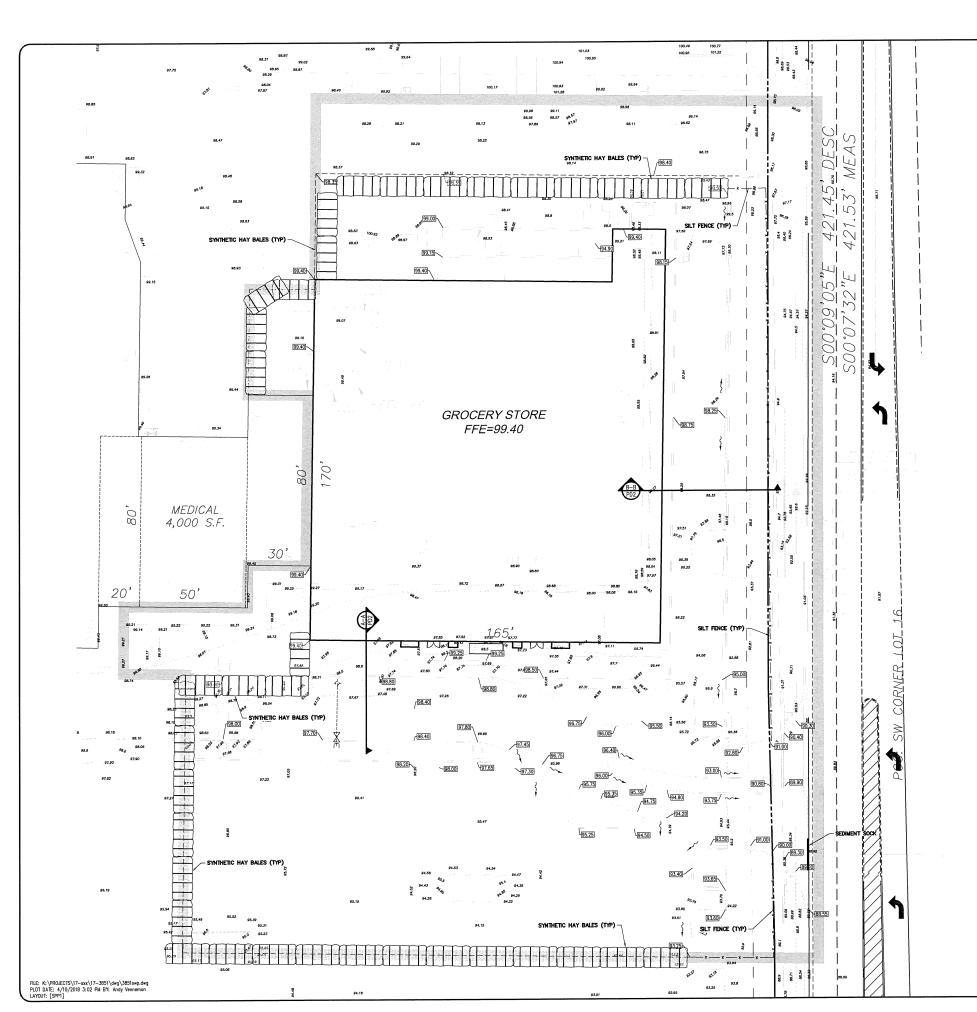
DEC. 2017 SCALE: M.G. DESIGNED BY: A.E.V. JOB#: 17-3851

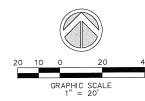


Date: April 10, 2018 SHEET No.

PD2

FILE: K:\PROJECTS\17-xxx\17-3851\dwg\3851ddt.dwg PLOT DATE: 4/10/2018 3:02 PM BY: Andy Venneman LAYOUT: [PD2]





### N.P.D.E.S. NOTES:

- IN ACCORDANCE WITH NPDES REQUIREMENTS, THE CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN PRIOR TO INITIATING CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT SAID PLAN TO THE OWNER PRIOR TO THE PRE-CONSTRUCTION CONFERENCE AND SHALL KEEP A COPY ON-SITE FOR THE
- DURATION OF CONSTRUCTION.
  2. 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR WILL SUBMIT A "NOTICE OF INTENT" TO THE FDEP IN ACCORDANCE WITH N.P.D.E.S. RULES AND REGULATIONS.

### EROSION AND SEDIMENT CONTROL NOTES:

- EROSION AND SEDIMENT CONTROL NOTES:

  1. THESE PLANS INDICATE THE MINIMUM EROSION & SEDIMENT CONTROL MEASURES REQUIRED FOR THIS PROJECT. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "THE FLORIDA DEVELOPMENT MANUAL A GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (F.D.E.P.) CHAPTER 6. CONTRACTOR SHALL PROVIDE EROSION PROTECTION AND TURBIDITY CONTROL AS REQUIRED TO ENSURE CONFORMANCE TO STATE AND FEDERAL WATER QUALITY STANDARDS AND MAY NEED TO INSTALL ADDITIONAL CONTROLS TO CONFORM TO AGENCIES REQUIREMENTS. IF A WATER QUALITY WOLATION OCCURS, THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ALL DAMAGE AND ALL COSTS WHICH MAY RESULT INCLUDING LEGAL FEES, CONSULTANT FEES, CONSTRUCTION COSTS, AND FINES.

  2. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS AND SPECIFICATIONS AND THE ST. JOHNS WATER MANAGEMENT DISTRICT SPECIFICATIONS AND CRITERIA.

  3. EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.

  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING A PERMANENT LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S DESIGN PLANS, CITY OF APOPKA CODE AND MEETING THE MPDES FINAL STABLIZATION REQUIREMENTS.

  5. IF DEWNTERING CAPACITY REQUIRES A CONSUMPTIVE USE PERMIT (C.U.P.) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST. JOHNS WIFE WATER WANAGEMENT DISTRICT.

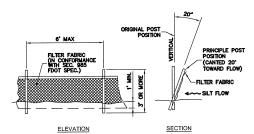
- REQUIREMENTS.

  IF DEWATERING CAPACITY REQUIRES A CONSUMPTIVE USE PERMIT (C.U.P.) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.

  THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ALL DAMAGE AND ALL COSTS WHICH MAY RESULT FROM WATER QUALITY WOLATIONS. COSTS MAY INCLUDE LEGAL FEES. CONSULTANT FEES, CONSTRUCTION COSTS, AND FINES.

  PRIOR TO COMMENCEMENT OF CONSTRUCTION AND EXCAVATION ACTIVITIES, THE CONTRACTOR SHALL PERFORM GROUNDWATER TESTING IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY FEDERAL REGISTER, PAGE 42739, PART 1A.3, TO DETERMINE PETROLEUM CONTAMINATION LEVELS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING N.P.D.E.S. PERMIT, IR EQUIRED, IN ORDER TO DISCHARGE ANY GROUNDWATER ENCOUNTERED FUR REQUIRED, IN ORDER TO DISCHARGE ANY GROUNDWATER ENCOUNTERED FUR REQUIRED, IN ORDER TO DISCHARGE ANY GROUNDWATER ENCOUNTERED FUR FROUNTS CONSTRUCTION AND DE—WATERING OPERATIONS.

  IF SOLVENT CONTAMINATION IS FOUND IN THE PIPE TRENCH, WORK SHALL BE STOPPED AND THE PROPER AUTHORITIES NOTIFIED. WITH APPROVAL OF THE PERMITTING AGENCY, DUCTILE IRON PIPE, FITTINGS AND SOLVENT RESISTANT GASKET MATERIAL SUCH AS FLUOROCARRON SHALL BE USED IN THE CONTAMINATED AREA. THE DUCTILE PIPE SHALL EXTEND AT LEAST 100 FEET BEYOND ANY SOLVENT NOTED. ANY CONTAMINATED SOIL THAT IS EXCAVATED SHALL BE PLACED ON AN IMPERMEABLE MAT AND COVERED WITH A WATERPROOF COVERING. THE PROPER AUTHORITIES WILL BE NOTIFIED AND THE CONTAMINATED SOIL HELD FOR PROPER DISPOSAL.



### SILT FENCE DETAIL

1. THIS PLAN REFLECTS REQUIREMENTS APPLICABLE TO PROTECTING SURFACE WATER RESOURCES IN STORMWATER MANAGEMENT SITE PLANS OR SITE PERMITS APPROVED BY STATE, TRIBAL OR LOCAL OFFICIALS.

2. SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED SO THAT SEDIMENT IS REMOVED FROM SEDIMENT BARRIERS WHEN THE DESIGN CAPACITY IS REDUCED BY 50%

SITE AREA TO BE DISTURBED = 00.00 Ac.
WETLAND AREA TO BE MITIGATED = 00.00 Ac

RUNOFF COEFFICIENT "C" BEFORE CONSTRUCTION = 0.85 DURING CONSTRUCTION = 0.70 AFTER CONSTRUCTION = 0.85

### **LEGEND**

OVERLAND FLOW 0.00 PROPOSED GRADE f Auth. Phone Fax

Sun-Tech= Engineering, Inc.





Ö

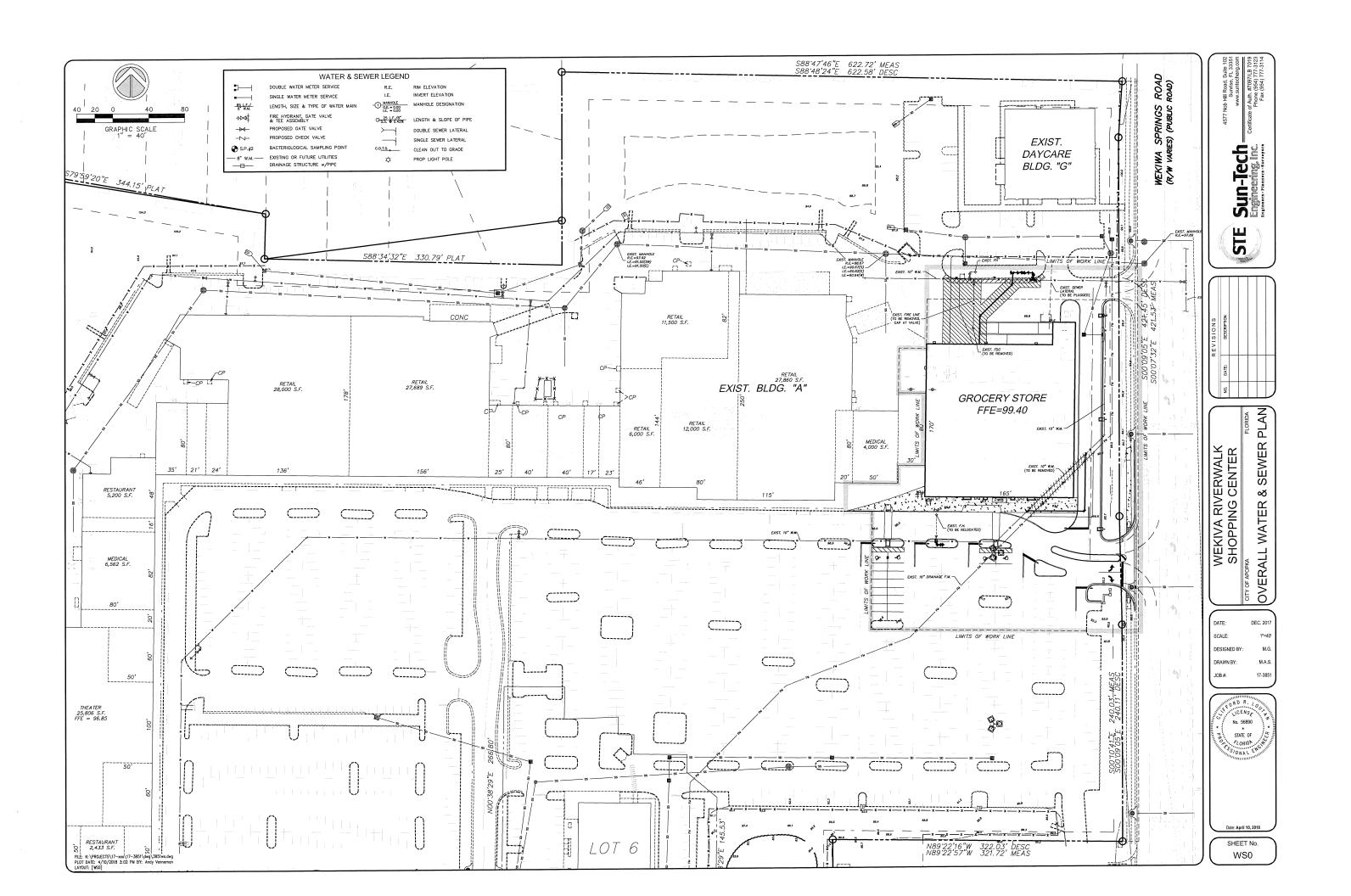
STORMWATER POLLUTION PREVENTION PLAN WEKIVA RIVERWALK SHOPPING CENTER

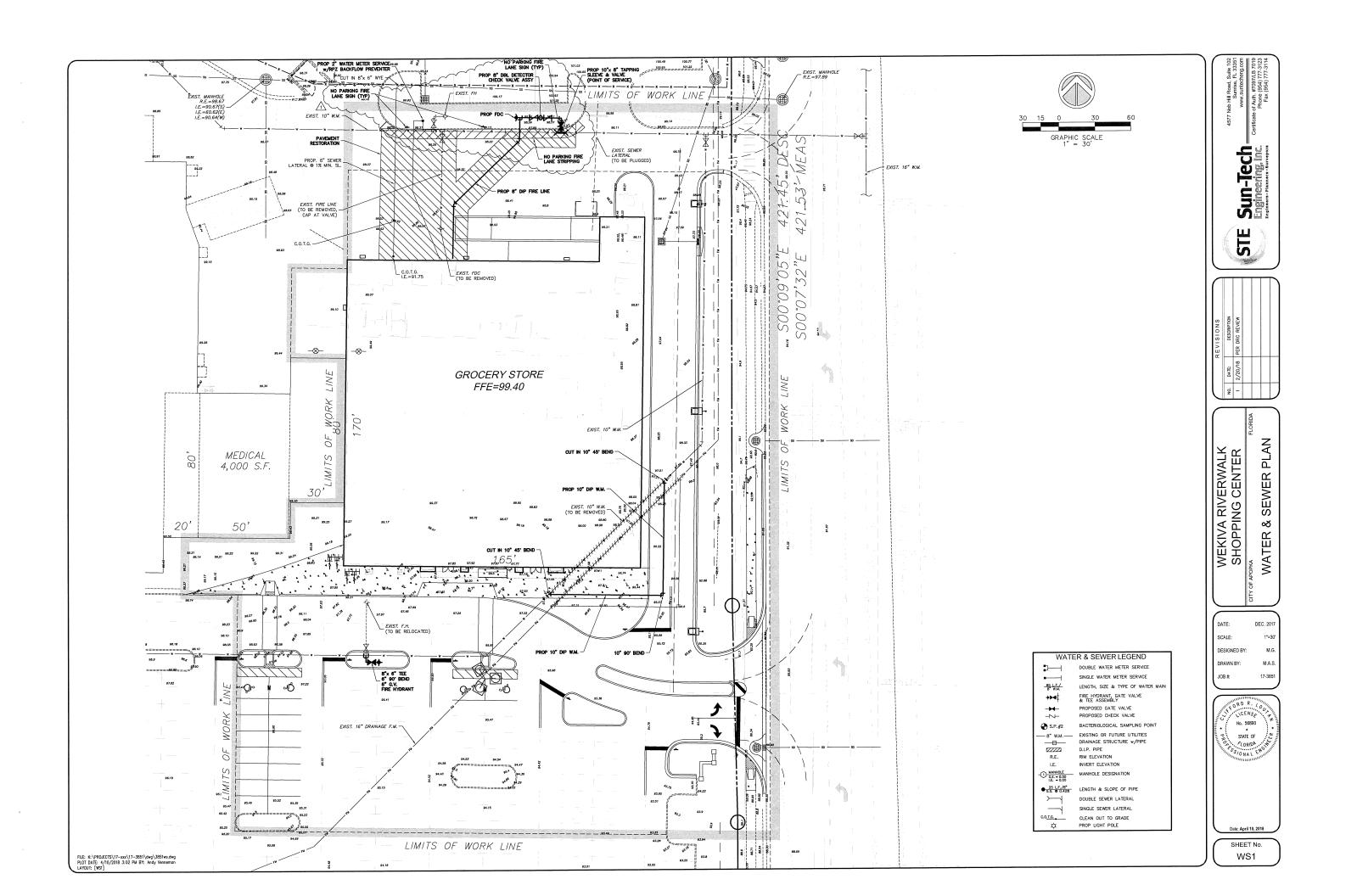
> DATE: DEC. 2017 SCALE: M.G. DESIGNED BY: A.E.V. JOB #: 17-3851



Date: April 10, 2018

SHEET No. SPP1





ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTON SPECIFICATIONS MANUAL

DATE: February 11, 2011

FIGURE GN

GENERAL

INITIAL BACKFILL

HAUNCHING

### OCU GENERAL NOTES:

- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN PROXIMITY OF WATER MAINS, WASTEWATER FORCE MAINS, GRAVITY MAINS AND RECLAIMED WATER MAN, MAIN LOCATIONS SHOWN ON PLANS MAY NOT BE EXACT. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING EXISTING UTILITY
- SHOULD A PIPE EMERGENCY OCCUR, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OCU DISPATCH OPERATOR (407-836-2777) IND THE OCU INSPECTOR?.
- 3. THE CONTRACTOR SHALL NOTIFY THE OCU CONSTRUCTION DIVISION AT LEAST SEVEN DAYS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION PROJECT BY CALLING (407)
- THE CONTRACTOR SHALL NOTIFY THE OCU CONSTRUCTION DIVISION AT LEAST 48
  HOURS PRIOR TO ANY UTILITIES CONSTRUCTION BY CALLING (407) 254-9 798.
- 5. THE MATERIALS, PRODUCTS, AND CONSTRUCTION OF ALL UTILITIES CONNECTING TO THE COU SYSTEM SHALL BE IN CONFORMANCEWITH THE ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL.
- ALL OCU MAINS AND FACILITIES WITHIN THE LIMITS OF THE PROJECT SHALL BE SUPPORTED AND PROTECTED AGAINST DAMAGE DURING CONSTRUCTION.
- 7. THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE, SHALL IMMEDIATELY REPAIR ALL DAMAGES TO OCU MAINS AND FACILITIES. IF THE REPAIR IS NOT MADE IN A TIMELY MANNER, AS DETERMINED BY OCU, OCU MAY PERFORM REQUIRDE REPAIRS AND CLEANUP. THE CONTRACTOR WILL BE CHARGED FOR ALL EXPENSES ASSOCIATED WITH THE REPAIR.
- 8. THE CONTRACTOR SHALL ADJUST ALL EXISTING OCU MAINS AND FACILITIES IN CONFLICT WITH NEW GRADE, NEW OR ALTEREE ROADWAYS, SIDEWALKS, SIDEWALKS, SIDEWALKS, SIDEWALKS, DIEW OR STORM WATER IMPROVEMENTS. OCU FACILITIES TO BE ADJUSTED INCLUDE, BUT ARE NOT LIMITED TO PPELINES, PUMP STATIONS, VALVE BOXES, AIR RELEASE VALVES, FIRE HYDRANTS, MANHOLE COVERS, AND METERS.
- 9. ONLY OCU SHALL OPERATE OCU WATER, WASTEWATER, AND RECLAIMED WATER VALVES. THE CONTRACTOR SHALL COORDINATE VALVE OPERATION WITH THE COU INSPECTORS. FOR OPERATION OF MAINS NOT OWNED BY OCU, IT IS THE CONTRACTOR'S RESPONSIBILITY OPERATION OF MAINS NOT OWNED BY OCU, IT IS THE CONTRACTOR'S RESPONSIBILITY REPRESENTATIVE.
- 10. CONSTRUCTION ACTIVITIES SHALL NOT CAUSE INTERRUPTIONS IN WATER, WASTEWATER, OR RECLAIMED WATER SERVICE. THE CONTRACTOR SHALL COORDINATE PRE-APPROVED INTERRUPTIONS OF SERVICE WITH THE OCU INSPECTOR 7 WORKING DAYS IN ACVANCE.

STANDARD DRAWINGS

TRENCH WIDTH VARIES W/ SIZE OF PIPE

-SEE NOTE 4-

NOTES:

1. INITIAL BACKFILL AND HAUNCHING: SELECT COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.

2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-100.

3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY UTILITIES.

4. 15" MAX. (12" MIN.) FORPIPE DIAMETER LESS THAN 24" AND 24" MAX (12" MIN) FOR PIPE

DIAMETER 24" AND LARGER.

5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.

6. ALL PIPE TO BE INSTALLED WITH BELL FACING USSTREAM TO THE DIRECTION OF THE

FLOW.
FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN ORANGE COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION

PIPE O.D.

ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTON SPECIFICATIONS MANUAL

12" (TYP)

SELECT COMMON

UNDISTURBED EARTH (SEE NOTE 3)

APPENDIX A

- 11. THE CONTRACTOR SHALL PROVIDE FOR BYPASSING AND/OR HAULING WASTEWATER DIRING APPROVED INTERRIPTIONS OF WASTEWATER FLOWS AND CONNECTIONS.
  THE CONTRACTOR SHALL SUBMIT A BYPASS PLAN SIGNED AND SEALED BY A
  PROFESSIONAL ENGINEER TO COLD DEVELOPMENT ENGINEERING FOR APPROVAL
  PRIOR TO IMPLEMENTATION BY CONTRACTOR.
- 12. ALL VALVES INSTALLED AS PART OF THIS CONSTRUCTION PROJECT SHALL REMAIN ALL VALVES INSTALLED AS PART OF THIS CONSTRUCT ION PROJECT SPAGE REMAINS CLOSED DURING CONSTRUCTION. KEEP VALVES ON ALL NET TAPS CLOSED UNTIL CLEARED BY FOED. DO NOT CONNECT NEWLY CONSTRUCTED WATER MAINS TO ANY EXISTING WATER MAINS UNLESS CLEARED BY FOED AND OCU.
- 13. THE CONTRACTOR SHALL PROVIDE A JUMPER ASSEMBLY WITH A BACKFLOW PREVENTER FOR MAKING TEMPCRARY CONNECTIONS TC AN EXISTING POTABLE WATER SOURCE IN ORDER TO CHLORINATE AND FLUSH NEW WATER MAINS WITH POTABLE WATER. ANY TEMPCRARY POTABLE WATER CONNECTIONS TO RECLAIMED WATER OR FORCEMAIN SHALL ALSO BE EQUIPPED WITH A BACKFLOW PREVENTER.
- 14 FOR PVC PIPE THAT WILL BE OWNED AND MAINTAINED BY OCU, NO PIPE BENDING IS
- 15. FOR NON-PVC PIPE THAT WILL BE OWNED AND MAINTAINED BY OCU, LONG RADIUSS CURVES, EITHER HORIZONTAL OR VERTICAL, MAY BE INSTALLED WITH STANDARD PIPE BY DEFLECTIONS AT PIPE JOINTS MAXIMUM DEFLECTIONS AT PIPE JOINTS, FITTINISS AND LAYING RADIUS FOR THE VARIOUS PIPE LENGTHS SIALL NOT EXCEED 75 PERCENT OF THE PIPE MANUFACTURERS' RECOMMENDATION.

ALLOWED. THE MAXIMUM ALLOWABLE TO LERANCE FOR JOINT DEFLECTION IS 0.755 DEGREES (3-INCHES PER JOINT FER 20 FT STICK OF PIPE) ALIGNMENT CHANGE SHALL BE MADE ONLY WITH SLEEVES AUD FITTINGS.

## ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A			STANDARD DRAWINGS							GENERAL		
DATE: Febru	uary 11, 2011 WATE					TAB WAT		AINS		FIG	URE	A104-1
,	MINIMUM LENGTH (FT	) TO E	E RES	TRAIN	IED OI	N EAC	H SIDE	OFF	ITTING	G(S)		
						PIPE	SIZE					
	TYPE			PVC			DIP					
		4"	6"	8"	10"	12"	16"	20"	24"	30"	36"	
	90° BEND	25	36	46	55	64	65	77	89	105	120	
	45° BEND	10	15	19	23	26	27	32	37	44	50	
	22-1/2° BEND	5	8	9	11	13	13	15	18	21	24	
	11-1/4° BEND	3	4	5	6	8	7	8	9	10	12	
	PLUG OR BRANCH OF TEE	53	74	97	117	135	138	166	194	231	265	
	VALVE	27	38	49	59	68	69	83	97	116	133	
	REDUCER		RIES E			O BE	DETE	RMIN	ED BY	THE		

- NOTES:

  1. FITTINGS SHALL HAVE RESTRAINED JOINTS UNLESS OTHERWISE INDICATED.

  2. INSTALL FULL LENGTH JOINTS WITH TOTAL LENGTH EQUAL TO OR GREATER THANN LENGTH SHOWN IN THE TABLE.

  3. WHERE TWO OR MORE FITTINGS ARE IN SERIES, SELECT FITTING RESTRAINT LENIGTH THAT YIELDS THE LONGEST RESTRAINT DISTANCE.
- 4. ALL INLINE VALVES SHALL BE RESTRAINED.

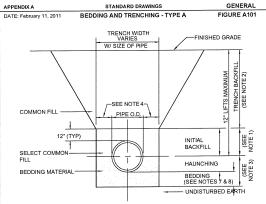
  5. WHERE INTERNAL RESTRAINED JOINTS ARE USED, THE ENTIRE BELL SHALL BE
- PAINTED RED.

  6. LENGTHS SHOWN IN THE TABLEWERE CALCULATED IN ACCORDANCE WITH PROCEDURES OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" GUIDELINES PUBLISHED BY DIPRA, USING THE ASSUMPTIONS SHOWN BELOW:

WORKING PRESSURE: 150 PSI SOIL DESIGNATION: SM (SAND SILT) LAYING CONDITIONS: 3 DEPTH OF COVER: 3 FT

THE DESIGN ENGINEER SHALL ITICREASE THE VALUES IN THE TABLE AS WARRANTED BY SITE-SPECIFIC SOIL DESIGNATIONS, LAYING CONDITIONS, PIPE MATERIAL, ETC. FOR DIP ENCASED IN POLYETHYLENE, INCREASE THE GIVEN VALUE BY A FACTOR! OF 1.25.

### ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MAINUAL



- NOTES:

  1. INITIAL BACKFILL: SELECT COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.

  2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.

  3. TYPE A BEDDING MATERIAL SHALL CONFORM TO FDOT NO. 57 AGGREGATE.

  4. 15" MAX. (12" MIN.) FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX (12" MIN) FOR PIPE DIAMETER 24" AND LARGER.

  5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.

  6. ALL PIPE TO BE INSTALLED WITH BELL FACINGUPSTREAM TO THE DIRECTION OF THE FLOW.

- FLOW. BEDDING DEPTH SHALL BE 4" MINIMUM FOR PPE DIAMETER UP TO 12" AND 6" MINIMUM FOR

- 7. BEDDING DEPTH SHALL BE 4"MINIMOM FOR PIPE DIAME LER UP 10 T2" AND 6"MINIMOM FOR PIPE DIAMETER 16" AND LARGER.

  8. DEPTH FOR REMOVAL OF UNSUITABLE MATERAL SHALL GOVERN DEPTH OF BEDDING ROCK BELOW THE PIPE. UTILITIES SHALL DETERMINE IN THE FIELD REQUIRED REMOVAL OF UNSUITABLE MATERIAL TO REACH SUITABLE FOUNDATION.

  9. FINAL RESTORATION IN MEROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SUFFACE RESTORATION WITHIN ORANGE COUNTY RIGHT-OF-WAY SHALL COMPLY WITHFECUIREMENTS OF RW UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

### ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MAINUAL

NDIX A STANDARD DRAWINGS GE						GEN	ERAL					
E: February 11, 2011		RESTRAINED PIPE TABLE /ASTEWATER FORCE MAINS								FIGURE A104-2		
MINIMUM LENGTH	(FT) TO E	BE RES	TRAIN	IED OI	N EAC	H SIDI	E OF F	ITTING	G(S)			
7.05	T			PV	C PIF	E SIZ	Έ					
TYPE	4"	6"	8"	10"	12"	16"	20"	24"	30"	36"		
90° BEND	18	24	31	38	43	55	65	75	88	100		
45° BEND	8	10	13	15	18	23	26	31	38	43		
22-1/2° BEND	4	5	6	8	9	11	13	15	18	20		
11-1/4° BEND	2	3	4	5	6	8	9	10	11	13		
PLUG OR BRANCH OF TEE	38	50	65	79	90	147	139	163	194	223		
VALVE	19	25	32	40	45	59	70	82	98	112		
REDUCER		RIES I SIGN				DETE	RMIN	ED BY	THE			

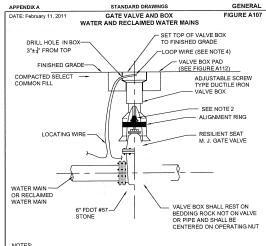
- OTES: FITTINGS SHALL HAVE RESTRAINED JOINTS UNLESS OTHERWISE INDICATED.
- 2. INSTALL FULL LENGTH JOINTS WITH TOTAL LENGTH EQUAL TO OR GREATER THAN LENGTH SHOWN IN THE TABLE.
- 3. WHERE TWO OR MORE FITTINGS ARE IN SERIES, SELECT FITTING RESTRAINT LENGTH

- 3. WHERE TWO OR MORE HIT INSIGNARE IN SENERS, SELECT FITTING "ESTRAINT LENGT THAT YIELDS THE LONGEST RESTRAINT DISTANCE.
  4. ALL INLINE VALVES SHALL BE RESTRAINED.
  5. WHERE INTERNAL RESTRAINED JOINTS ARE USED, THE ENTIRE BELL SHALL BE PAINTED RED.
  6. LENGTHS SHOWN IN THE TABLE WERE CALCULATED IN ACCORDANCE WITH PROCEDURES SHOWN IN THE TABLE WERE CALCULATED IN ACCORDANCE WITH PROCEDURES PUBLISHED BY DIPRA, USING THE ASSUMPTIONS SHOWN BELOW:

WORKING PRESSURE: 100 PSI
SOIL DESIGNATION: SM (SAND SILT)
LAYING CONDITIONS: 3
DEPTH OF COVER: 3 FT
SAFETY FACTOR: 1.5
CONVERSION FACTOR FOR PVC PIPE: 1.25

THE DESIGN ENGINEER SHALL INCREASETHE VALUES IN THE TABLE AS WARRANTED BY SITE-SPECIFIC PARAMETERS, SUCH AS SOIL DESIGNATIONS AND LAYING CONDITIONS.

### ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

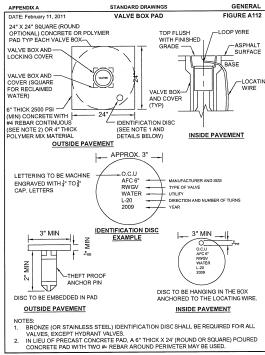


- NOTES:

  1. PVC PIPE OR DUCTILE IRON PIPE EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.

  2. THE VALVE ACTUATING NUT SHALL BE EXTENDED TO BE WITHIN 3' OF FINISHED GRADE.
- 2. THE VALVE ACTUATING NUT SHALL BE EXTENDED TO BE WITHIN 3"OF FINISHED GRADE.
  3. PROVIDE A PLASTIC DEBRIS SHELD A ILLOIMENT RING WHICH INSTALLS BELOW THE
  VALVE ACTUATING NUT. THIS SHIELD SHALL CENTER THE RISER PIPE BOX OVER: THE
  ACTUATING NUT AND MINIXED INFILTRATION.
  4. LOCATING WIRE SHALL BE CONTINUOUS WITH NO SPLICES AND SHALL EXTEND 1.2" ABOVE
  TOP OF COLLAR. WIRE SHALL BE COLOR CODED TO MATCH THE UTILITY INSTALLED.
  5. FOR NEW CONSTRUCTION. THE VALVE BOX SHALL BE ADJUSTED TO MIDRANGE ITO
  ALLOW FOR FUTURE BOX ADJUSTMENTS.
  6. REFER TO FIGURE A111 FOR INSTALLATIONS AT A DEPTH OF 6" OR GREATER.

### ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL









S ETAIL /ERWALK CENTER EWER WEKIVA RIVE SHOPPING (  $\overline{S}$ ∞ర  $\propto$ Ш WAT

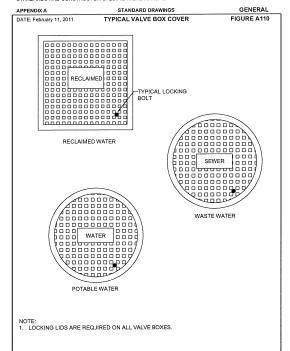
DEC. 20 N.T.S SCALE: DESIGNED BY M.G A.E.V DRAWN BY JOB # 17-385



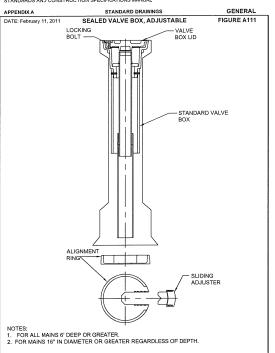
SHEET No WS2

FILE: K:\PROJECTS\17-xxx\17-3851\dwg\3851wsdt.dwg PLOT DATE: 4/10/2018 3:02 PM BY: Andy Vennemon LAYOUT: [WS2]

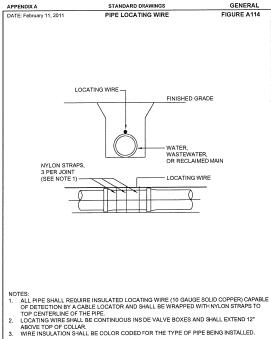
### ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTON SPECIFICATIONS MANUAL



### ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL



### ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MAINUAL



### ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

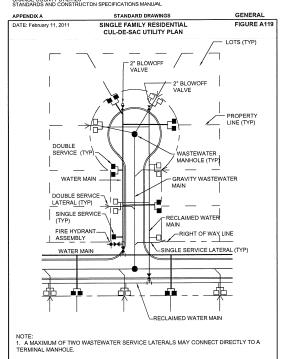
PENDIX A STANDARD DRAWINGS							GENERAL	
							IGURE A	
HORIZON	NTAL & V	ERTICAL S	EPARAT	ION REQU	JIREMENT	s		
		RECLAIMED WASTEWATER ST WATER (GRAVITY & FM)						SEWER
HORIZ	VERT	HORIZ	VERT	HORIZ	VERT	HORIZ	VERT	
3' NOTE 1	12"	3' NOTE 1 & 3	12" NOTE 3	6' NOTE 3	12" NOTE 3	3' NOTE 1 & 3	12"/18" NOTE 2 & 3	
3' NOTE 1 & 3	12" NOTE 3	3' NOTE 1	12"	3' NOTE 1	12"	3' NOTE 1	12"/18" NOTE 2	
6' NOTE 3	12" NOTE 3	3' NOTE 1	12"	3' NOTE 1	12"	3' NOTE 1	12"/18" NOTE 2	
3' NOTE 1	N/A	3' NOTE 1	N/A	3' NOTE 1	N/A	N/A	N/A	
	HORIZOI POTA WAT HORIZ 3' NOTE 1 a 3' NOTE 3 6' NOTE 3 3'	HORIZONTAL& V	SEPARATION RETURN   SEPARATION RETURN	SEPARATION REQUIRE	SEPARATION REQUIREMENTS	SEPARATION REQUIREMENTS FOR TER, WASTEWATER AND RECLAIMED WATER	SEPARATION REQUIREMENTS FOR   TER, WASTEWATER AND RECLAIMED WATER MAINS	

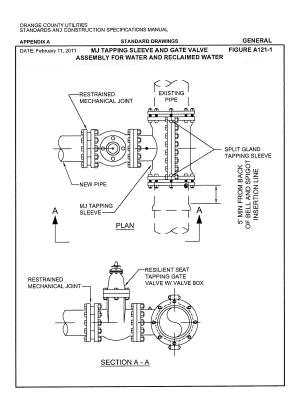
- THIS SEPARATION REQUIREMENT IS TO PROVIDE ACCESSIBILITY FOR CONSTRUCTION AND MAINTENANCE. THREE FEET OF HORIZONTAL SEPARATION IS THE MINIMUM FOR PIPES MAINTENANCE. THREE FEET OF HORIZONTAL SEPARATION IS THE MINIMUM FOR PIPES MAINTENANCE. THE SET OF COVER, FOR PIPES INSTALLED AT GREATER DEPTHS, PROVIDE AN ADDITIONAL FOOT OF SEPARATION FOR EACH ADDITIONAL FOOT OF SEPARATION REQUIREMENT HER STORM PIPE HAS A DIAMETER EQUAL TO OR GREATER THAN 24 INCHES. OTHERWISE, THE REQUIRES SEPARATION IS 21 INCHES. THIS SEPARATION REQUIREMENT COMPLIES WITH MINIMUM FOEP SEPARATION REQUIREMENTS OUTLINED IN 2-555.314(5), FAC AND MUST BE APPROVED INDIVIDUALLY BY BOTH FOEP AND COL.

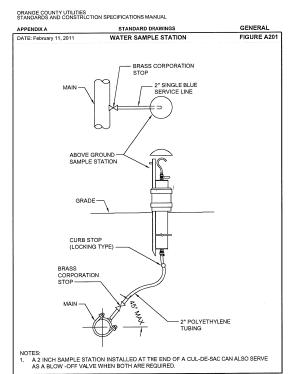
  DISTANCES GIVEN ARE FROM GUTSIDE OF PIPE TO OUTSIDE OF PIPE.

  NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF SANITARY OR STORM WATER MANHOLE OR STRUCTURE.

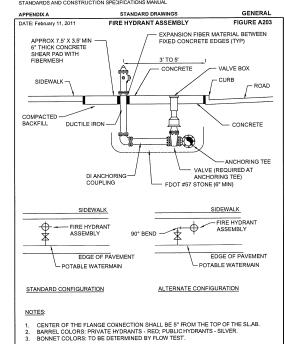
### ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTON SPECIFICATIONS MANUAL







### ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL



of Auth. Phone Fax

Sun-Tech= Engineering, Inc.







ഗ **DETAIL** WEKIVA RIVERWALK SHOPPING CENTER EWER  $\overline{S}$ જ

ËR WAT

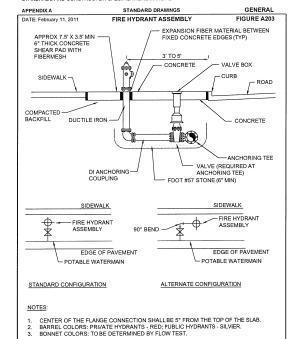
DATE: DEC. 201 N.T.S SCALE: DESIGNED BY M.G. A.E.V. DRAWN BY: 17-385 IOR#

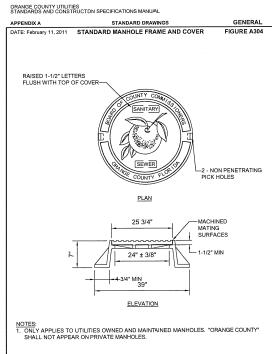


Date: April 10, 2018

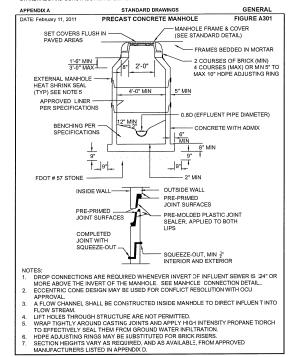
SHEET No. WS3

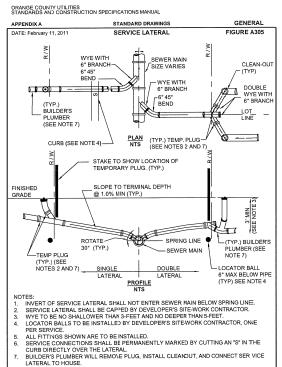
### ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTON SPECIFICATIONS MANUAL



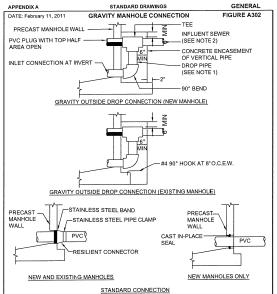


### ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL





### ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MAINUAL



NOTES:

NOTES:

NOTES:

NOROP PIPE AND FITTINGS SHALL BE OF EQUAL SIZE AND MATERIAL AS THE INFLUENT SEWER.

AN OUTSIDE DROP CONNECTION SHALL BE REQUIRED FOR ALL INFLUENT LINES WHICH HAVE AN INVERT 2' OF MORE ABOVE THE MANHOLE INVERT.

CONTRACTOR TO COORDINATE THE PRESENCE OF UTILITIES INSPECTOR DURING CORNICO AND CONNECTIONS TO EXISTING MANHOLES.

### ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A	STANDARD DRAWINGS	GENERAL
DATE: February 11, 2011	FORCE MAIN TO GRAVITY SEWER CONNECTION	FIGURE A306
GRAVITY SEWER CONNECTION  SLOPE  PLAN VIEW	Section VIEW	MODULAR PIPE SEAL RESTRAINED JOINT FORCE MAIN
NOTES:		

- IOTES:

  FORCE MAIN ORIENTED TO FACILITATE FLOW AND SHALL ENTER MANHOLE WITHIN 1'
  ABOVE INVERT OF THE EFFLUENT PIPE.

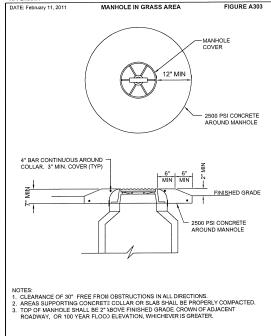
  BENCH AS REQUIRED FOR NEW FORCE MAIN.

  MANHOLE RECEIVING FORCE MAIN AND NEXT MANHOLE SHALL BE LINED. FOR
  CONNECTIONS TO EXISTING MANHOLES, MANHOLE RECEIVING FORCE MAIN AND NEXT
  MANHOLE SHALL BE COATED OR LINED PERAPPENDIX D.

  CONTRACTOR TO COORDINATE THE PRESENCE OF UTILITIES INSPECTOR DURING
  CORING AND CONNECTIONS TO EXISTING MANHOLES.

### ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A	STANDARD DRAWINGS	GENERAL
DATE: February 11, 2011	MANHOLE IN GRASS AREA	FIGURE A303
	12" MIN	MANHOLE COVER
		- 2500 PSI CONCRETE AROUND MANHOLE
4* BAR CONTINUOUS A COLLAR. 3* MIN. COVE	R (TYP) 6" 6" 6" MIN MIN MIN 225	FINISHED GRADE  FINISHED GRADE  OR PSI CONCRETE OUND MANHOLE
<ol> <li>AREAS SUPPORTING C</li> <li>TOP OF MANHOLE SHA</li> </ol>	EEE FRON OBSTRUCTIONS IN ALL DIRECTIO ONCRETE COLLAR OR SLAB SHAIL BE PRO LL BE 2" ABOVE FINISHED GRADE: CROWN AR FLOOD ELEVATION, WHICHEVER IS GRE	OPERLY COMPACTED. OF ADJACENT



ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

STANDARDS AND CONSTRU	ICTION SPECIFICATIONS MANUAL	
APPENDIX A	STANDARD DRAWINGS	GENERAL
DATE: February 11, 2011	PUMP STATION GENERAL NOTES	FIGURE A401
GENERAL NOTES:		
	RING WET WELL SHALL BE MADE WATERTIGHT OR LISTED IN APPENDIX D.	WITH AN APP'ROVED
	RE PRESSURE PIPES PENETRATE THE WET WE WALL SLEEVE AND COMPRESSION SEAL.	LL SHALL BE MADE
3. THERE SHALL BE NO	VALVES OR ELECTRICAL JUNCTION BOXES IN TR	HE WET WEL L.
<ol> <li>WET WELL COVERS S RECESSED LOCK BRA OR WELDED INTO CO</li> </ol>	SHALL BE ALUMINUM WITH 316 STAINLESS STEEI ACKET. WET WELL COVER SHALL HAVE "CONFIN VER.	_ HARDWARE: WITH IED SPACE" E:TCHED
5. ALL HARDWARE IN W	ET WELL STALL BE 316 STAINLESS STEEL.	
6. PUMP MANUFACTURE	R SUBMERGENCE REQUIREMENTS SHALL BE M	MET AS MINIMIUM.
<ol> <li>PIPE JOINTS IN THE W FROM THE VALVE VAL MECHANICAL JOINTS.</li> </ol>	VET WELL AND THE VALVE VAULT SHALL BE FLA JLT TO THE EXISTING FORCE MAIN SHALL BE RE	NGED. PIPE JOINTS ESTRAINED
8. CHECK VALVE ARMS: THE LEFT SIDE OF VA	SHALL BE LOCATED WITH THE SAME ORIENTAT LVE).	ION (i.e. ALL ARMS ON
9. REFER TO APPENDIX	D FOR ADMIX, COATINGS AND LININGS.	l
		İ
		ŀ
		1

Sun-Tech Engineering, Inc.





ഗ ETAIL WEKIVA RIVERWALK SHOPPING CENTER EWER S જ ËR WAT

DEC. 2017 DATE: SCALE: N.T.S. M.G. DRAWN BY A.E.V.

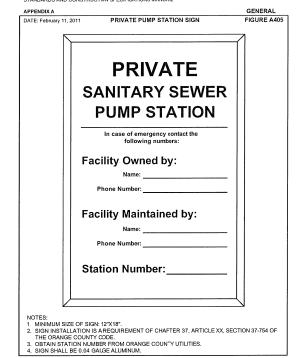
17-3851

CENSE No. 56890 * STATE OF STAIL STORIOA 
JOB #:

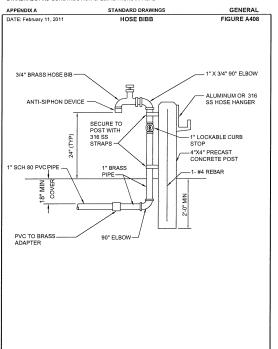
Date: April 10, 2018

SHEET No. WS4

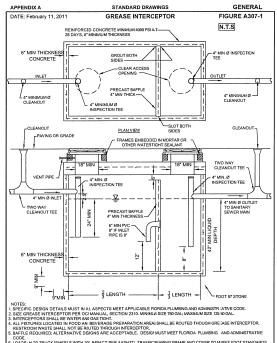
### ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

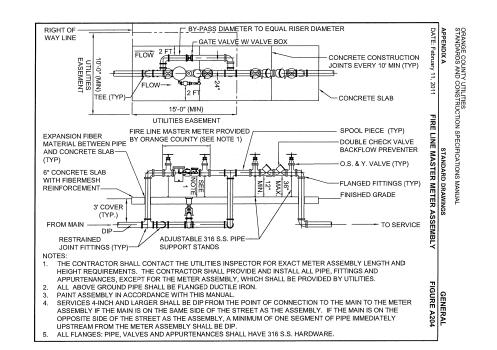


### ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL



### ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTON SPECIFICATIONS MANUAL





WEKIVA RIVERWALK SHOPPING CENTER

SCALE: N.T.S. DESIGNED BY: A.E.V. DRAWN BY: JOB #: 17-3851



SHEET No. WS5

Date: April 10, 2018

FILE: K:\PROJECTS\17-xxx\17-3851\dwg\3851wsdt.dwg PLOT DATE: 4/10/2018 3:02 PM BY: Andy Vennemon LAYOUT: [WS5]

DETAIL SEWER I

∞ಶ WATER

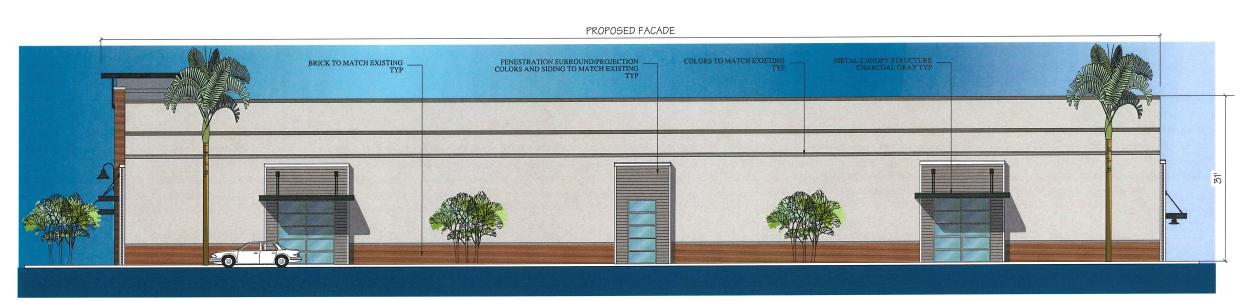
S

Sun-Tech= Engineering, Inc.

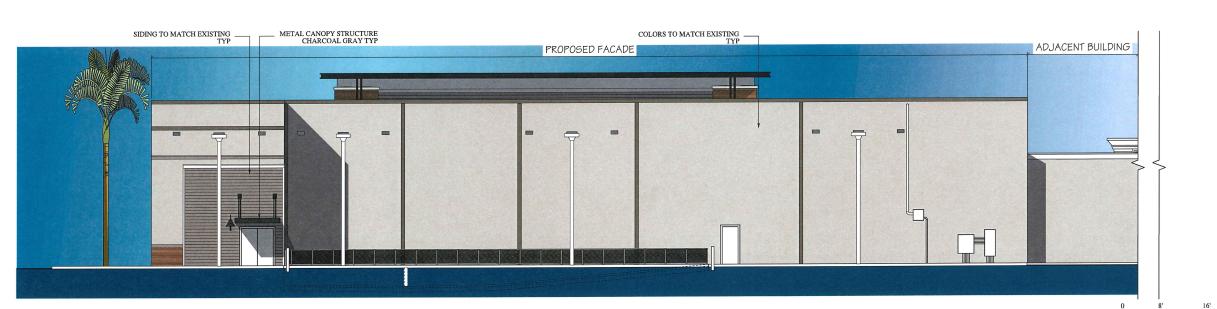
STE







# SIDE (EAST) ELEVATION



REAR (NORTH) ELEVATION



_			
MARK	DESCRIPTION	DATE	
Δ			
$\triangle$			
$\triangle$			
$\triangle$			Ķ
$\triangle$			BL(
$\triangle$			SION
$\triangle$			REVISION BLOCK
$\triangle$			
$\triangle$			
$\Delta$			

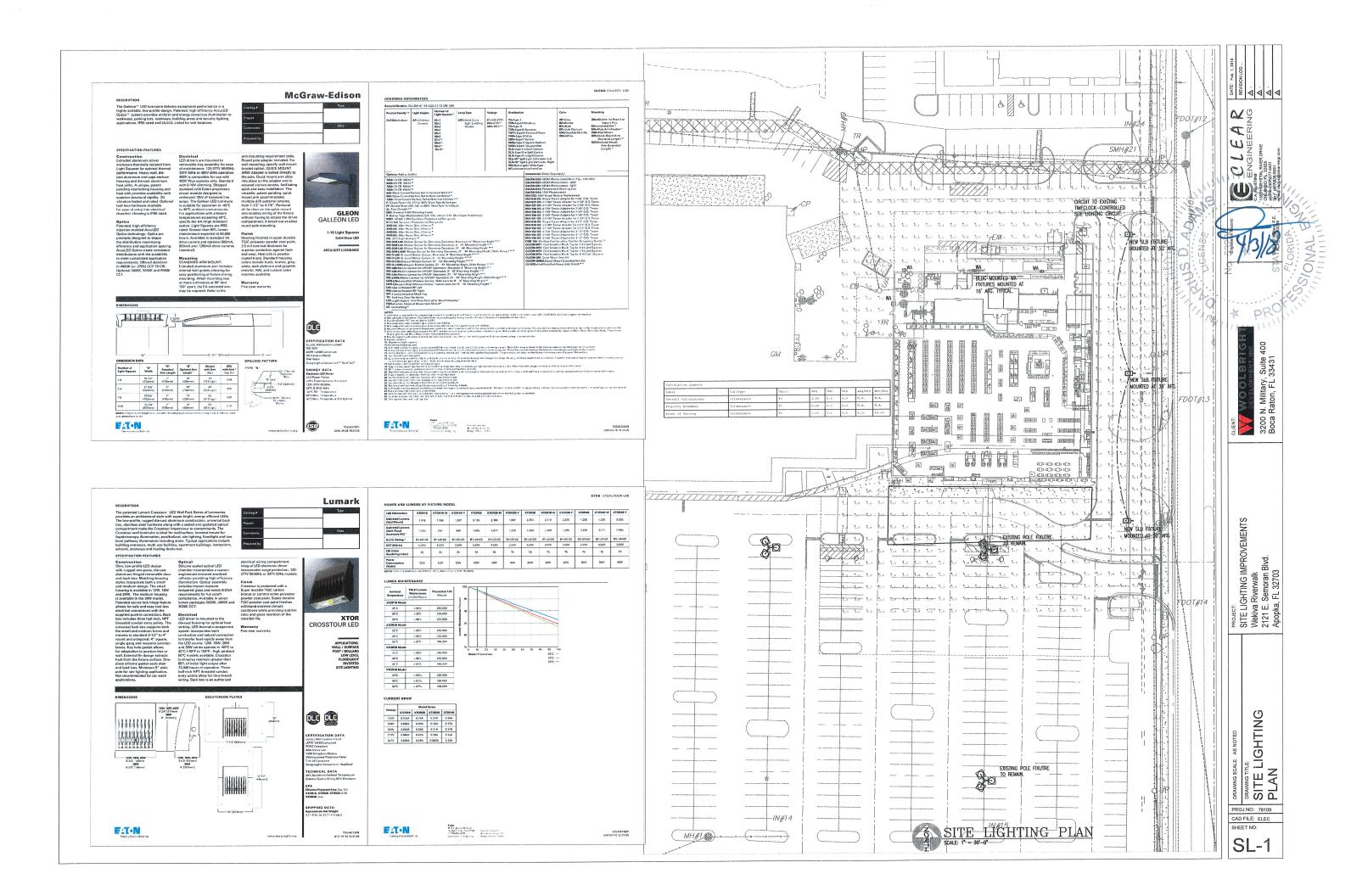


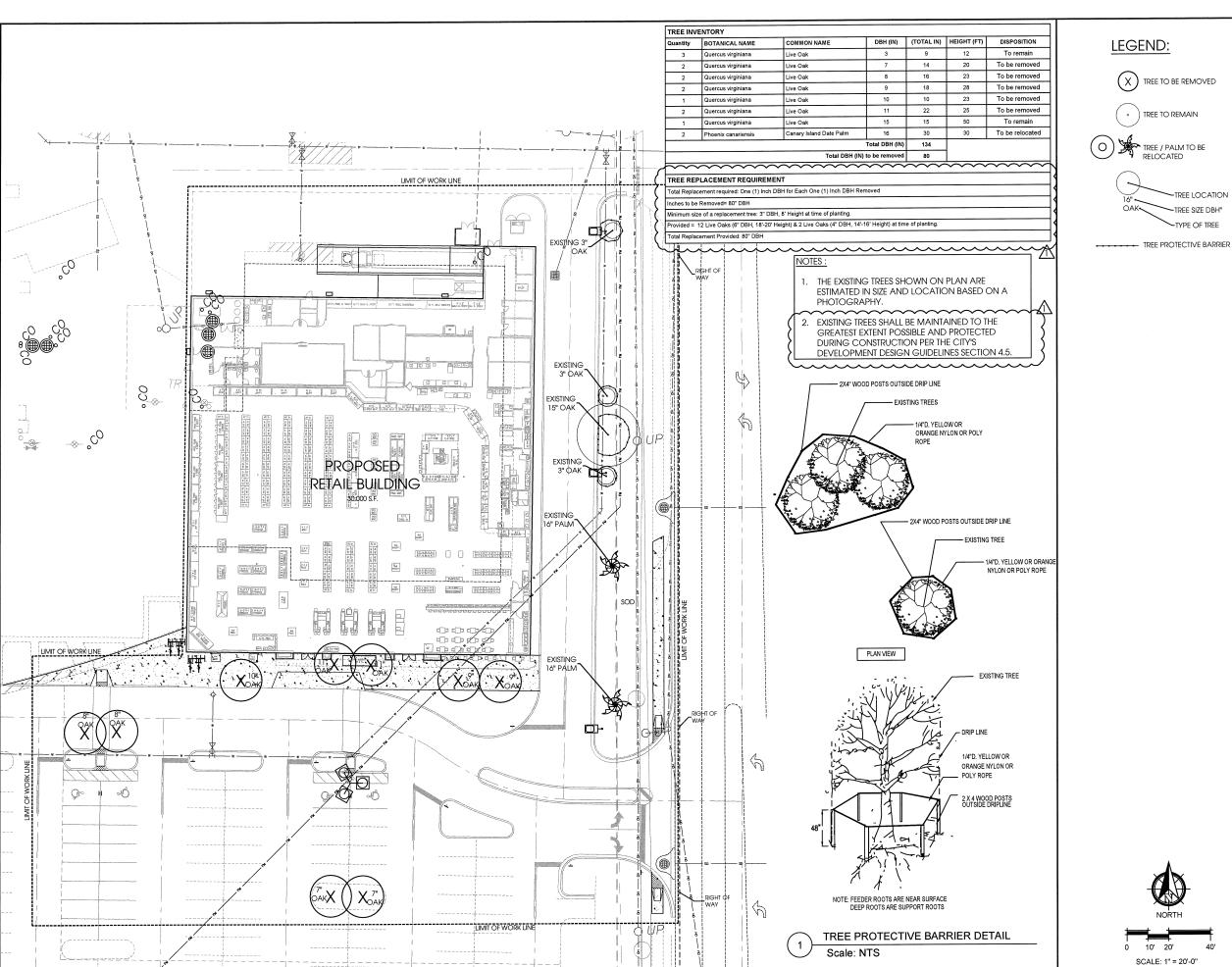


WEKIVA RIVER WALK REDEVELOPMENT PROPOSED GROCERY STORE APOPKA, FLORIDA

IOB NUMBER	18008	J
CALE	AS NOTED	٦
SSUE DATE	18.01.30	PROJECT
ERMIT DATE		2
SID DATE		L
		=
DRAWN BY		1
CHECKED BY	MW	1
DISCIPLINE	ARCHITECTURE	
	ARCHITECTURE	SHEET

3008 - ACS.01 02 - 18.01.30 PLOT DATE: 18.02.02





(X) TREE TO BE REMOVED

TREE TO REMAIN

TIREE / PALM TO BE RELOCATED

TREE LOCATION TREE SIZE DBH" TYPE OF TREE



Owner:

Woolbright Wekiva, LLC 3200 N Military Trail Boca Raton, FL 33431

# RIVERWALK APOPKA, **WEKIVA** CITY OF,

REMOVAL PLAN

TREE

Rev:	Date:	Description:	Ву:
Δ	01/31/2018	PER CITY COMMENTS	RR,GD
◬	02/01/2018	BASE CHANGE	RR,GD
Δ			
$\nabla$			
$\nabla$			
$\nabla$			
$^{\vee}$			

Date: 01/09/2018	Scale: AS SHOWN	
Drawn By: GPD/MM	Designed By:MM	
Approved By:MM Project No:17054		
@Innovations Design Group, Inc.		



TM-01

eet Number

### LANDSCAPE INSTALLATION NOTES:

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND BASE INFORMATION PRIOR TO INITIATING PLANTING INSTALLATION, ALL EXISTING PLANTING SHALL REMAIN INTACT AND UNDISTURBED UNLESS OTHERWISE NOTED ON THE PLANS.

2. CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HOURS MINIMUM PRIOR TO DIGGING FOR VERIFICATION OF ALL UNDERGROUND UTILITIES, IRRIGATION AND ALL OTHER OBSTRUCTIONS AND COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO INITIATING OPERATIONS. DRAWINGS ARE PREPARED ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARING THESE DOCUMENTS.

3. CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH EXISTING SITE CONDITIONS PRIOR TO INITIATING PLANTING. ALL EXISTING SITE FURNISHINGS, PAVING, LANDSCAPE AND OTHER ELEMENTS TO REMAIN SHALL BE PROTECTED FROM ANY DAMAGE UNLESS OTHERWISE NOTED.

4. UNLESS OTHERWISE NOTED, THE LIMITS OF CONSTRUCTION ARE THE CLEARING LIMITS NOTED ON THE DRAWINGS. (REFER TO CIVIL ENGINEERING DRAWINGS.)

5. REPORT ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND FIELD CONDITIONS TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.

6. LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH RELATED CONTRACTORS AND WITH THE GENERAL CONSTRUCTION OF THE PROJECT IN ORDER NOT TO IMPEDE THE PROGRESS OF THE WORK OF OTHERS OR THE CONTRACTOR'S OWN WORK.

7. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE EXISTING GROUND COVER FOR ALL PLANTING BEDS AS SPECIFIED PRIOR TO PLANTING INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE ALL PORTIONS OF EXISTING LAWN AREAS DAMAGED WHILE COMPLETING PLANTING INSTALLATION WITH THE SAME GRASS SPECIES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.

8. THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS, PRIOR TO COMMENCEMENT OF THE LANDSCAPE PLANTING WORK, THE CONTRACTOR SHALL PROVIDE COMPLETE SOIL TESTS FOR AT LEAST TWO ON-SITE AREAS.

LEAST I WU ON-SITE AKEAS.

9. ALL PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE WITH THE "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) AND THE PROJECT MANUAL AND SPECIFICATIONS. PLAT MATERIALS SHALL EXCEED IN SOME INSTANCES SOME SPECIFICATIONS IF NECESSARY TO MEET THE MINIMUM REQUIREMENTS OF OTHERS.

10. ALL TREES SHALL HAVE SIX FEET (6') CLEAR TRUNK UNLESS OTHERWISE SPECIFIED.

11. ALL CONTAINER SIZES NOTED ON PLANT LIST ARE MINIMUM, INCREASE SIZE IF NECESSARY TO CONFORM TO PLANT SIZE AND SPECIFICATIONS.

12. ALL TREE CALIPER SIZES NOTED ON PLANT LIST ARE MINIMUM, INCREASE SIZE IF NECESSARY TO CONFORM TO PLANT SIZE AND SPECIFICATIONS.

13. ANY TREES WITH A TRUNK FORMED "V" SHAPE CROTCH WILL BE REJECTED.

14. EROSION CONTROL FABRIC SHALL BE INSTALLED IN ALL SHRUB AND GROUND COVER PLANTING AREAS AS PER SPECIFICATIONS FOR ALL SLOPES THAT EXCEED 3:1 . SEE GRADING PLANS FOR LOCATION OF SLOPES GREATER THAN

15. TYPICALLY, SHRUB AND GROUND COVER PLANTINGS ARE SHOWN AS MASS PLANTING BEDS. PLANTS SHALL BE PLACED ON A TRIANGULAR SPACING CONFIGURATION (STAGGERED SPACING). PLANT CENTER TO CENTER DIMENSIONS (O.C.) ARE LISTED UNDER "COMMENTS" ON THE PLANT LIST.

16. LANDSCAPE CONTRACTOR SHALL FIELD STAKE THE LOCATION OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.

17. LANDSCAPE CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO ALL EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.

18. CONTRACTOR SHALL MULCH ALL NEW PLANT MATERIAL THROUGHOUT AND COMPLETELY TO DEPTH SPECIFIED.

19. ANY SUBSTITUTIONS IN SIZE AND/OR PLANT MATERIAL MUST BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE BEFORE PLANTING CAN BEGIN.

20. CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND THE PROJECT MANUAL AND SPECIFICATIONS FOR FURTHER AND COMPLETE LANDSCAPE PLANTING INSTRUCTIONS.

21. LANDSCAPE CONTRACTOR SHALL COORDINATE ALL PLANTING WORK WITH IRRIGATION WORK. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAND WATERING AS REGUIRED BY OWNERS REPRESENTATIVE TO SUPPLEMENT IRRIGATION WATERING AND RAINFALL. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING IN ALL PLANTING AREAS, REGARDLESS OF THE STATUS OF EXISTING OR PROPOSED IRRIGATION.

22. LANDSCAPE CONTRACTOR SHALL CLEAN THE WORK AREAS AT THE END OF EACH WORKING DAY, RUBBISH AND DEBRIS SHALL BE COLLECTED AND DEPOSITED OFF-SITE DAILY, ALL MATERIALS, PRODUCTS AND EQUIPMENT SHALL BE STORED IN AN ORGANIZED FASHION AS DIRECTED BY THE OWNER'S REPRESENTATIVE.

23. LANDSCAPE CONTRACTOR SHALL REGRADE ALL AREAS 23. LANDSCAPE CONTRACTOR SHALL REGRADE ALL ARE-DISTURBED BY PLANT REMOVAL, RELOCATION AND/OR INSTALLATION WORK, LANDSCAPE CONTRACTOR SHALL REPLACE (BY EQUAL SIZE AND QUALITY) ANY AND ALL EXISTING PLANT MATERIAL DISTURBED OR DAMAGED BY PLANT REMOVAL, RELOCATION AND/OR INSTALLATION.

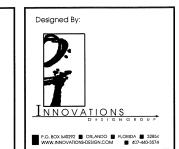
PLANT L	IST						,
KEY	QTY	BOTANICAL NAME	COMMON NAME	Spacing	SIZE/ SPECIFICATION	NATIVE	DROGHT TOLERANCE
CANOD	A TOPEC						
CANOP		O	lu - Out	ACCIJOVANI	6"CAL 18'-20' HT.	YES	YES
QV	12	Quercus virginiana	Live Oak	AS SHOWN		YES	YES
QV1	2	Quercus virginiana	Live Oak	AS SHOWN	4"CAL 14'-16' HT.	YES	150
$\overline{\sim}$	<b>~~~~</b>	·····	<b>~~~~~</b>	<del>\</del>	<del>\</del>	<del>\</del>	
PALMS					The state of the s		
LC	3	Livistona chinensis	Chinese Fan Palm	AS SHOWN	14' CT. ,F.G.	NO	YES
SHRUBS							
MC	460	Muhlenbergia capillaris	Pink Muhly Grass	30" O.C.	3 Gal. 18-24" HT Full	YES	YES
TD	32	Tripsacum dactyloides	Fakahatchee Grass	30" O.C.	3 Gal. 18-24" HT Full	YES	YES
VO	103	Viburnum obovatum	Walter's Viburnum	36" O.C.	7 Gal. 36" HT	YES	YES
GROUN	DCOVER						
TAM	879	Trachelospermum asiaticum 'Minima'	Dwarf Asiatic Jasmine	18" O.C.	1 Gal. Full Pot	NO	YES
		•					
SOD							
SOD	5,803 S.F.	Paspalum notum	Bahia Turf		Sod	YES	YES

-A LAYER OF HARDWOOD MULCH, INSTALLED TO A MINIMUM DEPTH OF TWO (2) INCHES, IN PLANT BEDS AND AROUND INDIVIDUAL TREES IN TURF GRASS AREAS. MULCH SHALL NOT BE REQUIRED IN ANNUAL BEDS. *CYPRESS MULCH SHALL NOT BE USED*

- LANDSCAPING AND IRRIGATION PLANS SHALL BE IN COMPLIANCE WITH WATER WISE ORDINANCE 2069
- ALL EQUIPMENT (INCLUDING ROOF TOP) AND UTILITY BOXES MUST BE FULLY SCREENED (INCLUDING THE BACK OF

_____

TREES MUST BE MEASURED AT DIAMETER AT BREAST HEIGHT (D.B.H.)



Owner: Woolbright Wekiva, LLC 3200 N Military Trail Boca Raton, FL 33431

RWALK

冚

 $\leq$ 

 $\triangleleft$ 

EKIV,

 $\Box$ ž Н

 $\triangleleft$ 

FLORIDA APOPKA, P P

LANDSC ENERAL (1)

Rev:	Date:	Description:	Ву:
Δ	01/31/2018	PER CITY COMMENTS	RR,GD
◬	02/01/2018	BASE CHANGE	RR,GD
Δ			
Δ			
Δ			
$\nabla$			
Δ			

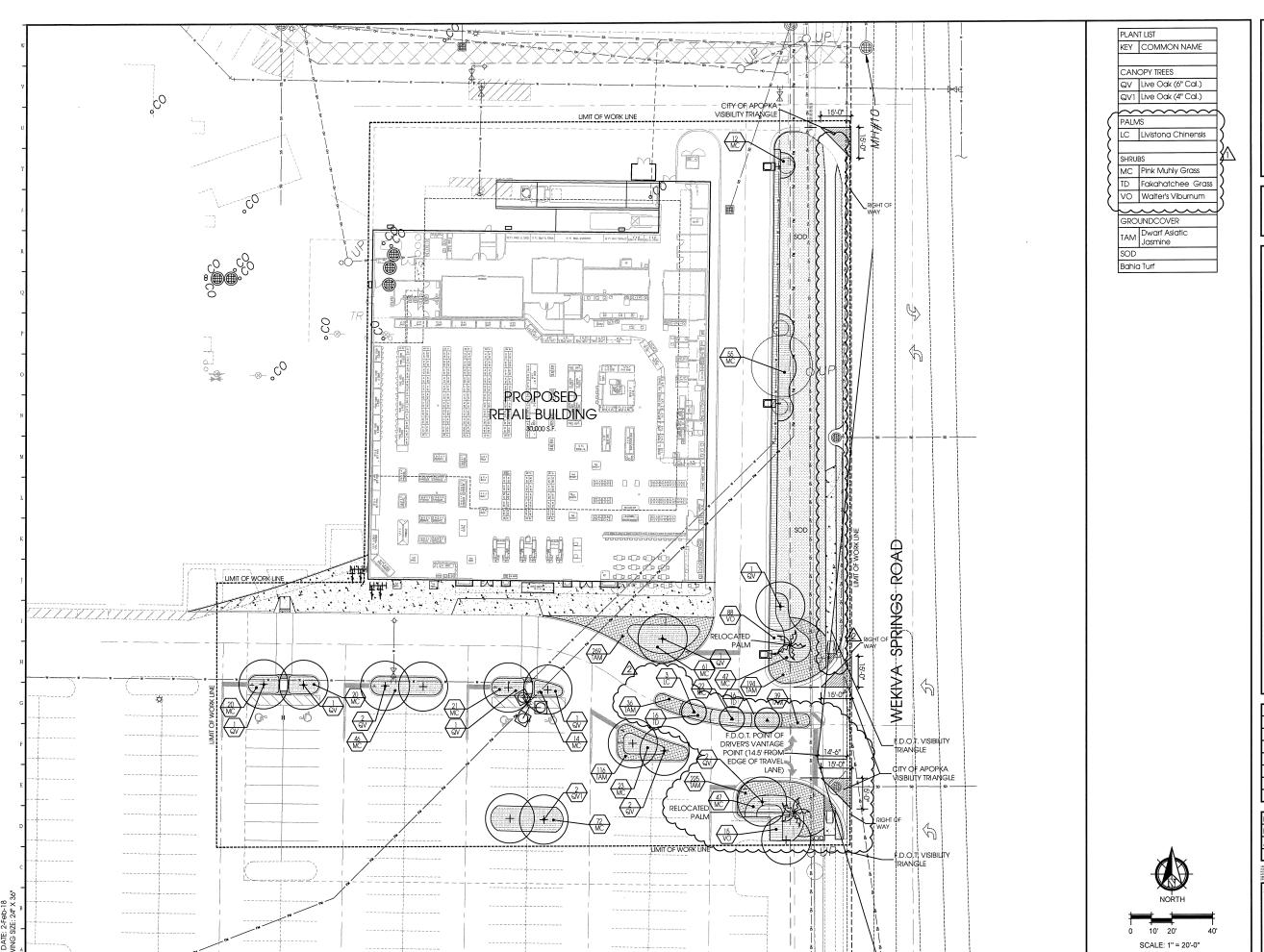
Date: 01/09/2018	Scale: AS SHOWN
Drawn By: GPD/MM	Designed By:MM
Approved By:MM	Project No:17054
Olnnovations Design	Group, Inc.

VEX.OD OF THIS COMMING THAT DO NOT BEAR THE SEAL AND SOMARIMS OF THIS ACCOUNT DESPONSES FOR THEM AND SOMARIMS ONLY MOUSE AND THE SEAL OF SESTIONS OF CONTRIBUTIONS OF THE PROJECT THE BRANCH AND ARREST COUNTRIBUTION OF THE PROJECT THE BRANCH AND ARREST COUNTRIBUTION AND ASSOCIATION OF THE PROJECT THE BRANCH AND ARREST COUNTRIBUTION OF THE PROJECT THE BRANCH AND ARREST COUNTRIBUTION OF THE PROJECT OF THE PROJECT ONLY SEAL OF THE PROJECT ONLY SEA



GN-00

neet Number





PERMIT LANDSCAPE PLAN **WEKIVA RIVERWALK** 

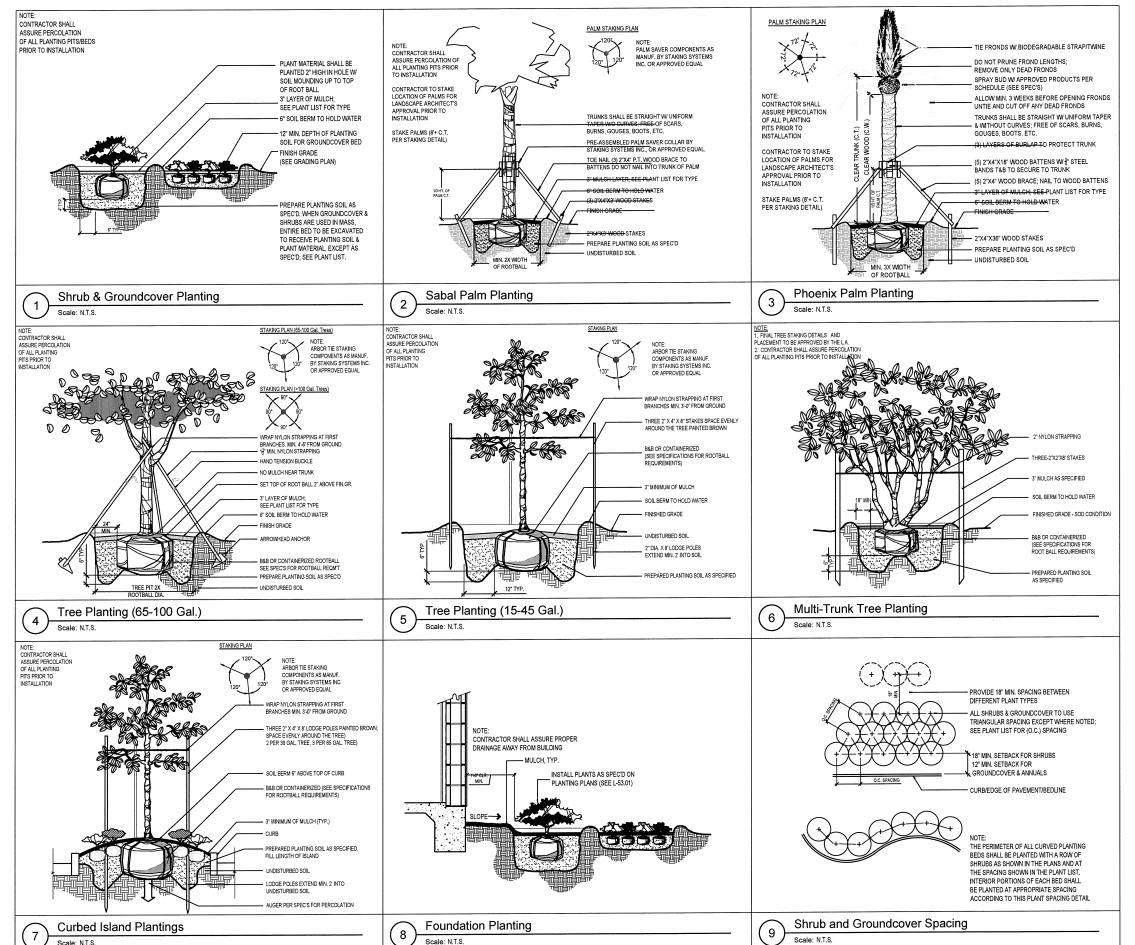
Rev:	Date:	Description:	By:
Δ	01/31/2018	PER CITY COMMENTS	RR,GD
Δ	02/01/2018	BASE CHANGE	RR,GD
Δ			
Δ			
Δ			
Δ			
Δ			

Date: 01/09/2018	Scale: AS SHOWN		
Drawn By: GPD/MM	Designed By:MM		
Approved By:MM	Project No:17054		
OInnovations Design Group, Inc.			

VIRIDADE OF THE DEVANOS DIAT OF NOT EXAL THE EXAL AND EDUNATION OF THE ARCHITECT PRESIDENCE FOR THE ARCHITECT PRESIDENCE CONFIDENCE FOR THE ARCHITECT PRESIDENCE CONFIDENCE FOR THE ARCHITECT PRESIDENCE FOR THE ARCHITECT



LS-01



Scale: N.T.S.

Designed By: NNOVATIONS

> Woolbright Wekiva, LLC 3200 N Military Trail Boca Raton, FL 33431

RIVERWALK FLORIDA APOPKA,  $\triangleleft$ 9 P

DETAIL

LANDSCAPE

١.				
	Rev:	Date:	Description:	By:
	Δ	01/31/2018	PER CITY COMMENTS	RR,GD
	Δ	02/01/2018	BASE CHANGE	RR,GD
	Δ			
	Δ			
	Δ			
	Δ			
	Δ			
١.				

1	Date: 01/09/2018	Scale: AS SHOWN
1	Drawn By: GPD/MM	Designed By:MM
1	Approved By:MM Project No:17054	
1	OInnovations Design G	roup, Inc.



LSD-01

eet Number

				>	
SYB	KEY	PATTERN	GPM	SPECIFICATIONS }	NOZZLE
000	A B C	15' FULL 15' HALF 15' QUARTER	3.75 1.86 .97	PROS-12-PRS30-CV-R-15F PROS-12-PRS30-CV-R-15H PROS-12-PRS30-CV-R-15Q	15A
•••	D E F	12' FULL 12' HALF 12' QUARTER	2.7 1.3 .67	PROS-12-PRS30-CV-R-F PROS-12-PRS30-CV-R-H PROS-12-PRS30-CV-R-Q	12A
000	G H I	10' FULL 10' HALF 10' QUARTER	1.59 .88 .42	PROS-12-PRS30-CV-R-F PROS-12-PRS30-CV-R-H PROS-12-PRS30-CV-R-Q	10A
$\Theta\Theta\Theta$	JKL	8' FULL 8' HALF 8' QUARTER	.97 .47 .24	PROS-12-PRS30-CV-R-F PROS-12-PRS30-CV-R-H PROS-12-PRS30-CV-R-Q	8A
<b>000</b>	M N O	5' FULL 5' HALF 5' QUARTER	.47 .23 .12	PROS-12-PRS30-CV-R-F PROS-12-PRS30-CV-R-H PROS-12-PRS30-CV-R-Q	5A
	P Q R	5'X30' SIDE 5'X30' CENTER 5'X15' END	1.3 1.3 .65	PROS-12-PRS30-CV-R-SS530 PROS-12-PRS30-CV-R-CS530 PROS-12-PRS30-CV-R-EC51 <b>5</b>	SS530 CS530 EC515
	S	9'X18' SIDE	1.72	PROS-12-PRS30-CV-R-SS916	81622
٥	T	BUBBLER	.5	PCN50 ON FLEX PIPE	PCN50

HUNTER ROTOR AND MATCHED ROTATORS IRRIGATION

LOW EMITTING NOZZLES

SYB	KEY	PATTERN	GPM	SPECIFICATIONS
$\triangle$ $\triangle$	AR	44' FULL	8.0	PGP-04-CV-R-8
	BR	40' HALF	4.0	PGP-04-CV-R-4
	CR	34' QUARTER	2.0	PGP-04-CV-R-2
<b>A</b>	DR	25' FULL	3.0	PGP-04-CV-R-3.0SR
	ER	25' HALF	1.5	PGP-04-CV-R-1.5SR
	FR	25' QUARTER	.75	PGP-04-CV-R75SR
000	GR	15'-20' FULL	1.47	PROS-12-PRS40-CV-R-MP2RED
	HR	15'-20' HALF	.74	PROS-12-PRS40-CV-R-MP2BLACK
	IR	15'-20' QUARTER	.4	PROS-12-PRS40-CV-R-MP2BLACK
<b>(a)</b>	JR	8'-13' FULL	.75	PROS-12-PRS40-CV-R-MP10LIVE
	KR	8'-13' HALF	.37	PROS-12-PRS40-CV-R-MP1RED
	LR	8'-13' QUARTER	.19	PROS-12-PRS40-CV-R-MP1RED
<ul><li></li></ul>	MR	5'-30' SIDE	.44	PROS-12-PRS40-CV-R-MPSS550
	NR	5'-15' END	.22	PROS-12-PRS40-CV-R-MPLCS515
•	ΠR	BUBBLER	.25	PCN25 ON FLEX PIPE

IRRIGATION INSTALLATION GENERAL NOTES SECTION 02810 PART ONE - GENERAL

1.0 SUMMARY

A. All portions of Division I - General Requirements are included with this section.

B. Furnish all transportation, materials, labor, equipment, and services to complete all work shown on the drawings and as

1.1 RELATED SECTIONS: section 02900 landscape planting

. Install sprinkler heads where indicated by symbol.
. Drawings are schematic. Adjust pipe and locations to conform to site conditions and to avoid obstructions. Conceal components behind walls of shrubbery where possible. Verify questionable locations before installation.

1.3 SUBMITTAL
A. Submit two bound folders containing:
1. Written operating instructions for all components.
2. Complete parts list and manufacturer's data.

Copy of well completion report.

Written maintenance instructions.

Provide 2 sets as-bullt record drawings with the following items dimensioned to the nearest footi

b. Water source Control valves

d. Gate valve

e. Electric control wire path (Red-line prints).

Red-line prints).
Products furnished but not installed:
2 extra heads of each type and size
2 extra nozzles of each type and size
2 extra head wrenches for each type of head
1 extra valve box with lid

COORDINATE WORK WITH OWNER AND OTHER TRADES
A Licensed electrician will install/provide power to the controller, pump, or fountain if utilized on project.

1.5 QUALITY ASSURANCE

A. Contractor is expected to participate in preconstruction meeting with Iwner and landscape architect to coordinate schedule, clarify questions, and discuss acceptable performance criteria for payment.

Contractor is expected to participate in contract closeout meeting with Owner and landscape architect to verify proper completion of the work, establish 'Date of Substantial Completion', and advise Owner as to system operation.

1.6. WARRANTIES

Δ

1.6. WARKANIES
A. Contractor will be fully responsible for system operation until Date of Substantial Completion.
B. Contractor is fully responsible for all parts and workmanship for one year after Date of Substantial Completion of each specific phase or portion of the project.
C. See to the fulfillment of all manufacturer's warranties.

PART TWO - PRODUCTS

2.0 MATERIALS

Backfill shall be free from stone, trash, or other debris.

MANUFACTURED UNITS

A. Automatic electro-mechanical controller fully installed and

operating.
Electric valve installed in valve box.

Valve box with lid manufactured by 'Amtek' or 'Brooks'. Connection for control wires manufactured by 'Pentite' or

'3M' installed as per manufacturer's directions, and above grade in valve boxes. Gate valves shall be brass and installed in valve box. Automatic drain valves shall be installed in 1 cubic foot gravel.

2.2 COMPONENTS
A. Control wire shall be direct burial # 14, type UF. Tape to underside of main every 10 feet. Install spare ground. wire + 5 extra wires.
B. Main line shall be class 200 PVC (ANSI/ASTM D2241).
C. Lateral lines shall be class 160 PVC minimum (ANSI/ASTM 02241).
D. Sleeve at all road and drive crossings shall be class 200 PVC.
E. All pipe, connectors and misc, fittings for the meter and check valve assembly will be galvanized.
F. all electrical work will conform to year construction N.E.C.

PART THREE - EXECUTION

3.0 EXAMINATION

Examine surfaces to which work will be applied and immediately notify landscape architect in writing if site is not in proper condition for Contractor to perform his duties under the terms of this contract.

3.1 PROTECTION

A. Locate Identify, and mark all known utilities in area of the work.

Take reasonable care to avoid damages or hazards.

B. Damage caused by Contractor's work will be repaired to Owner's satisfaction at Contractor's expense.

C. Document any damage to work caused by other trades. Immediately bring costs to Owner's attention and quickly repair at Owner's avenue. expense, as directed.

MISCELLANEOUS IRRIGATION ITEMS

Ó	CONTROLLER	EXISTING CONTROLLER WITH RFC RAIN & FREEZE SENSOR
M	METER	EXISTING METER
•	VALVE	ICV-15IG-FS-R-AS-30 'SIZE ACCORDINGLY, TO EXISTING VALVES'
	MAINLINE	EXISTING MAINLINE
	SLEEVE	SCH40 PVC SLEEVE 2 TIMES SIZE OF PIPE

-GENERAL NOTES-ALL IRRIGATION HEADS WITHIN SHRUBS SHALL NOT BE ON RISERS. USE POP-UPS ONLY.
-SPRAYS WITHIN BEDS SHALL BE 12" POP-UPS.
-SPRAYS IN LAWN AREAS SHALL BE 6" POP-UPS.
-ADJUST HEADS TO AVOID OVER SPRAY.

-USE PURPLE HEADS, PIPES, & VALVES UNLY.
-FIELD ADJUST IRRIGATION PLAN TO ACCOMMODATE SITE CHANGES.
-VELOCITY SHALL NOT EXCEED 5' PER SEC. IN ALL PIPELINES
-ALL POTS SHALL BE IRRIGATED WITH DRIP BUBBLER AND ATTACHED TO LAND IRRIGATION

THE IRRIGATION CONTRACTOR MUST COORDINATE WITH THE LANDSCAPE ARCHITECT BEFORE ANY INSTALLATION IS PERFORMED.

NOTES TO CONTRACTOR:

-TO BE PROVIDED BEFORE CITY'S INSPECTION-

1. ALL PROPOSED IRRIGATION MUST BE ZONE PER PLANT OR TURF REQUIREMENTS. (TURF AN: PLANT BEDS SHALL BE SEPARATED) 2. ALL PROPOSED SPRAY HEADS SHALL HAVE LOW EMITTING NOZZLES. (SEE IRRIGATION TARLE)

3. ALL OF THE EXISTING AND PROPOSED IRRIGATION THAT RUN OFF OF THE EXISTING CONTROLLER SHALL BE INSPECTED AND WATERED PER ZONE DEMAND.

4. A TABLE SHALL BE PROVIDED WITHIN THE CONTROLLER THAT SHOWS EACH ZONES RUN

5. PLEASE ABIDE BY THE "FLORIDA FRIENDLY" IRRIGATION GUIDELINE.

3.2 PREPARATION
A. Surface Preparation. Stake out each run of pipes, each head, and

each valve. B. Test control wire for continuity before unreeling for installation.

3.3 INSTALLATION
A. Keep pipe interior clean and dry at all times.
B. Ensure a square cut at all joints and ream ends to a smooth finish,

inside and out.
Lay all runs greater than 100 feet from side to side on trench bottom in serpentine pattern.
Support all pipe with clean, compact soil.
Backfill and compact to original soil.
Set heads plumb and flush with top of sod or mulch.
For lateral lines flush all debris from lines. Open valve and screw on one head at a time, starting at valve and continuing to the end. Ensure that lines are watertight.

3.4 THE FRANCES

Main line and drive crossings shall have 18 inches minimum cover. Lateral lines shall have 12 inches minimum cover. All heads shall be 4 inches minimum from walks, drives, or curbs. All pop-up heads and valve boxes shall be installed with top flush

with grade. E. All heads shall be installed plumb.

Apply 100 psi hydrostatic pressure to main lines for 120 minutes. If a leak is found, repair and retest until satisfactory.

**ADJUSTMENTS** 

A. Adjust sprinkler patterns and radius. Ensure uniform and sufficient coverage for optimum plant growth.

B. No heads shall be allowed to spray walls, fences, walks, or drives.

C. Set times to operate as appropriate for season, soil type, drainage, and plant requirements.

3.7 FIELD QUALITY CONTROL

A. Landscape architect or Owner may conduct periodic inspections to determine that the terms of this contract are fulfilled.

B. Contractor will be expected to participate with Owner in final inspection to review project for conformance to the contract. Items to be reviewed include, type, quantities, sizes, locations, dimensions, and quality of materials and workmanship.

C. The Contractor shall keep the premises free from accumulations of waste materials or rubbish caused by his employees or work at all times.

END OF SECTION

Designed By

NNOVATIONS

Woolbright Wekiva, LLC 3200 N Military Trail Boca Raton, FL 33431

ERWALK

 $\geq$ 

 $\triangleleft$ 

FLORIDA

 $\overline{\mathsf{Q}}$ 

N N ATION () RRI

escription. 1/31/201 02/01/201 BASE CHANGE 2/14/20 ER CITY COMME

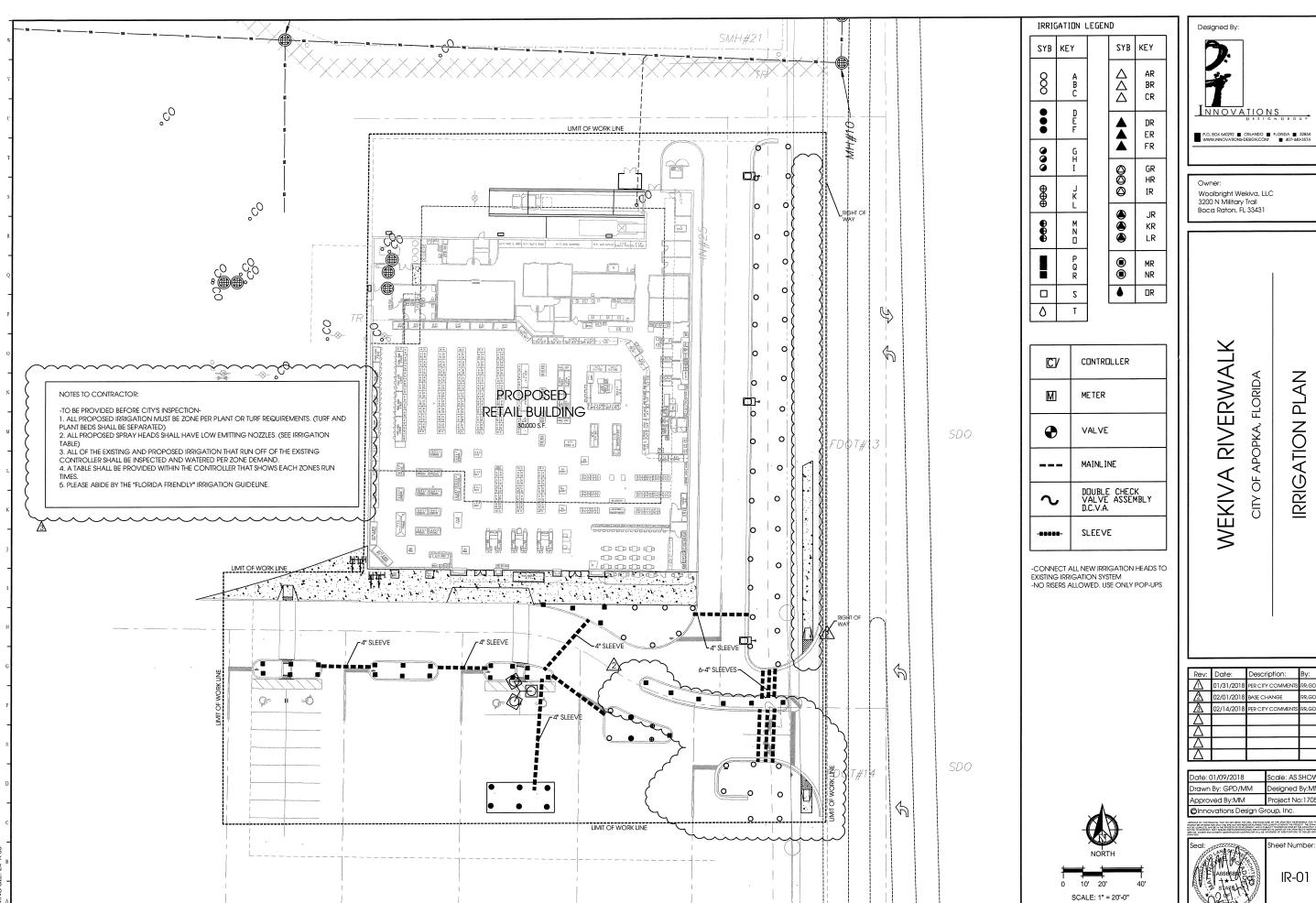
Date: 01/09/2018	Scale: AS SHOWN
Drawn By: GPD/MM	Designed By:MM
Approved By:MM	Project No:17054
Olnnovations Design	Group, Inc.

VISIOND BY 115 DEAPON THAT DO NO TIGUE HIS SEA HOU SHAPING OF THE REPORTED PROVIDED FOR THEM AN VISION DO NOTATION OF HOUSE OF THE HIS SEA HALL FOR THE HIS SEA HALL FOR THE PROVIDED FOR THE PROTECT THE DEAPON HALL FOR COMMUNICATION OF THE PROTECT THE DEAPON HALL FOR THE PROTECT THE PROTECT THE PROTECT THE PROTECT HAS THE PROTECT OF THE PROTECT HAS THE PROTECT HAS THE PROTECT THE PROTECT HAS THE PROTECT THE PROTECT HAS THE PROTECT



IR-00

eet Number



INNOVATIONS

escription BASE CHANGE

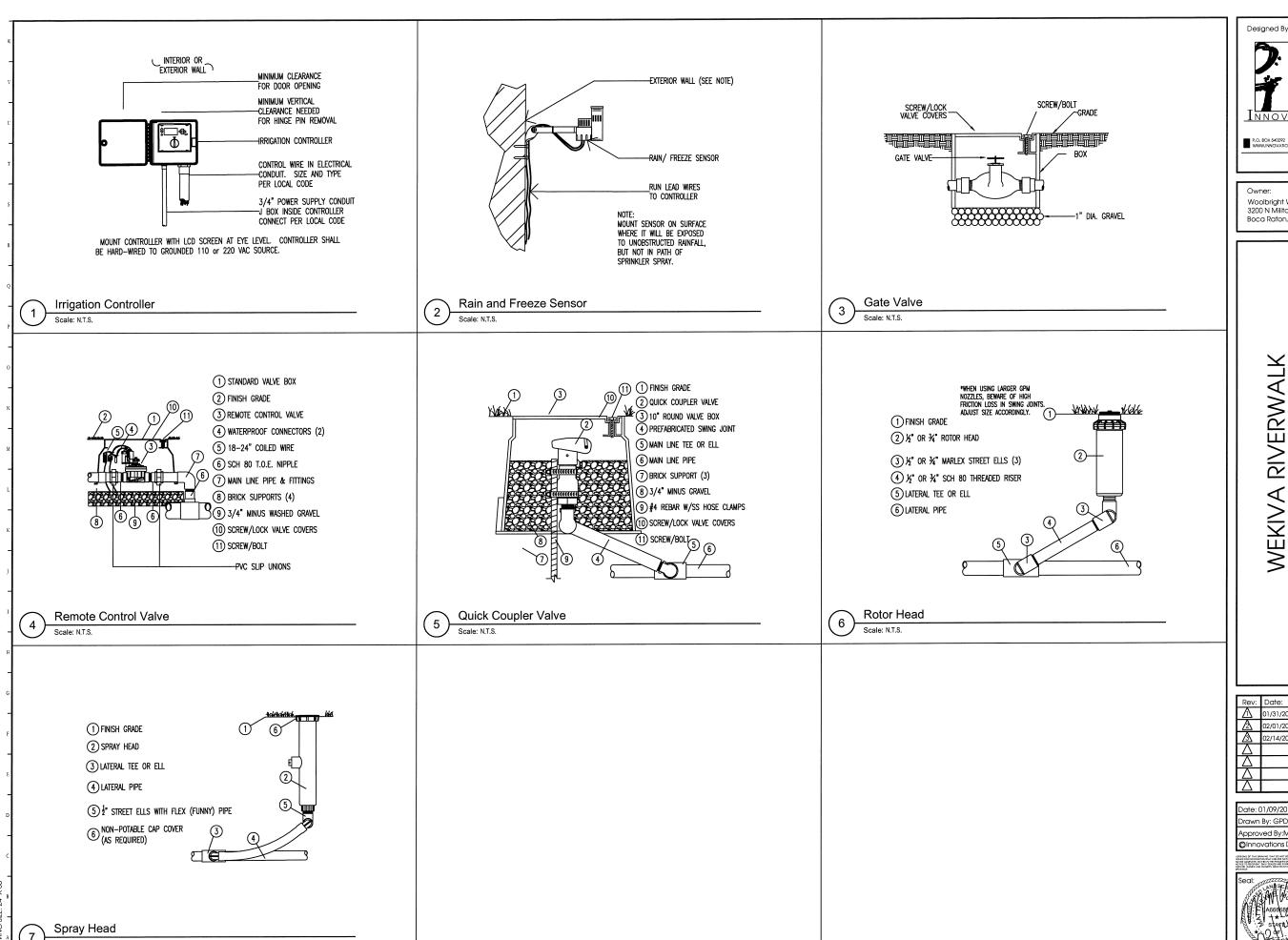
IRRIGATION PLAN

Date: 01/09/2018	Scale: AS SHOWN
Drawn By: GPD/MM	Designed By:MM
Approved By:MM	Project No:17054
Olnnovations Design G	roup, Inc.

NUMBERS OF THIS DRAWNE THAT DO NOT BEAR THE SEAL AND SOURTING OF THE ARD-TEST REPRESENTED FOR THAT AND A SOURT REPRESENTED FOR THAT AND A SOURT REPRESENTED FOR THAT AND A SOURT REPRESENTED FOR A SOURT REPRESENTED FOR A SOURT REPRESENTED FOR A SOURCE OF THE ARD-TEST OF T



IR-01



Designed By: INNOVATIONS P.O. BOX 540292 ■ ORLANDO ■ FLORIDA ■ 32854 WWW.INNOVATIONS-DESIGN.COM ■ 407-440-3574

Woolbright Wekiva, LLC

3200 N Military Trail Boca Raton, FL 33431

FLORIDA APOPKA, CITY OF /

**DETAIL**§

IRRIGATION

Rev:	Date:	Description:	By:
Δ	01/31/2018	PER CITY COMMENTS	RR,GD
◬	02/01/2018	BASE CHANGE	RR,GD
⅓	02/14/2018	PER CITY COMMENTS	RR,GD
Δ			
Δ			
Δ			
Δ			

Date: 01/09/2018	Scale: AS SHOWN
Drawn By: GPD/MM	Designed By:MM
Approved By:MM	Project No:17054
OInnovations Design ©	Froup, Inc.

VISIONS OF THE DEBANK, THAT DO NOT BOTH THE THE MAD AND HAVE OF THE ADDITION ESPONDED, FOR THEM AND HAVE OF THE ADDITION OF TH



eet Number IR-02

### JFO GROUP INC

Traffic Engineering • Transportation Planning

### www.jfogroupinc.com

May 14, 2018

Bobby Howell, AICP, Senior Planner Community Development 120 East Main Street Apopka, FL 32703 hhowell@apopka.net

RE: Wekiva Riverwalk Shopping Center – Parking Statement

Project No. SPR18-05R - Parcel ID 12-21-28-9093-00-010

Dear Bobby,

JFO Group Inc. has been retained to prepare a parking statement associated with the Wekiva Riverwalk Shopping Center in the City of Apopka, Florida. The project is located on the northwest corner of E Semoran Boulevard (SR 436) and Wekiwa Springs Road. Figure 1 shows an aerial location of the site in relation to the transportation network. The parcel ID Number associated with this request is 12-21-28-9093-00-010.

According to the proposed site plan, the northeast portion of the Wekiva Riverwalk Shopping Center is being reconfigured to add  $\pm 8,500$  square feet of retail uses, and, the existing driveway on Wekiwa Springs Road is being relocated 90 feet to the south.

According to the proposed site plan for the property, the Wekiva Riverwalk Shopping Center is proposing 1,237 parking spaces while 1,288 parking spaces are required by code. This results in a proposed parking ratio of 11 space for each 211 square feet of gross floor area instead of the 1 space for each 200 square feet of gross floor area required by code.

Based on our professional experience, our knowledge of the City of Apopka and our experience in Orange County, we do not anticipate having parking supply issues at the Wekiva Riverwalk Shopping Center. For instance, we have seen shopping centers in the County with parking ratios as high as 1² space for each 300 square feet of gross floor area. Furthermore, the average parking rate defined under the Institute of Transportation Engineers for

Site

Wekiwa Springs Rd

Semoran Blvd (SR 436)

Figure 1: Project Location

Shopping Centers recommends 1 space for each 253 square feet of gross floor area during Fridays in December which is the busiest weekday time of the year.

Consequently, we are confident that the proposed 1,237 parking spaces instead of the 1,288 parking spaces required by code will be adequate to accommodate the anticipated parking demand at the Wekiva Riverwalk Shopping Center.

Sincerely,

JFO GROUP INC COA Number 32276

Dr. Juan F. Ortega, P.E

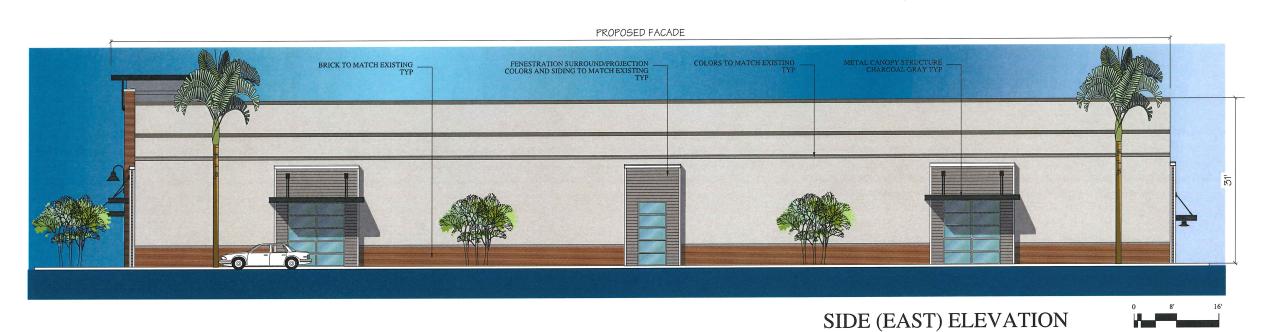
President

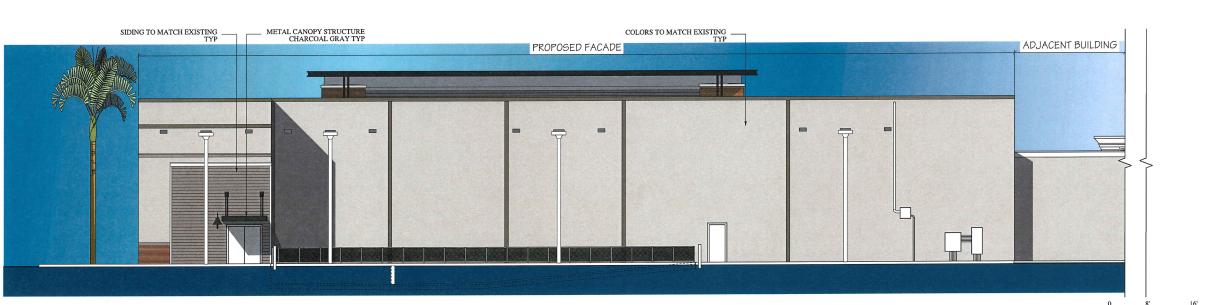
2018-05-14_Wekiva Riverwalk_Parking_1002.03

¹ 260,799 Gross Building Square Feet/1,237 Parking Spaces Provided

² Alafaya Commons. Parcel ID: 312222005100030









MARK	DESCRIPTION	DATE	
Δ			
$\triangle$			
Δ			
$\triangle$			Š
$\triangle$			I BL(
$\triangle$			SION
$\triangle$			REVISION BLOCK
$\triangle$			
$\triangle$			
$\Delta$			





WEKIVA RIVER WALK REDEVELOPMENT PROPOSED GROCERY STORE APOPKA, FLORIDA

JOB NUMBER	18008	П
SCALE	AS NOTED	ای
ISSUE DATE	18.01.30	PROJECT
PERMIT DATE		2
BID DATE		Ш
_		
DRAWN BY		_
CHECKED BY	MW	1
	MW ARCHITECTURE	EEL
CHECKED BY		SHEET

18008 - AC3.01 02 - 18.01.30 PLOT DATE: 18.02.

REAR (NORTH) ELEVATION